

Elm Place Application for Ch. 40B Permit

Prepared for the Zoning Board of Appeals

November 30, 2021



WinnDevelopment

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Project Team



Gilbert J. Winn
Chief Executive Officer,
WinnCompanies



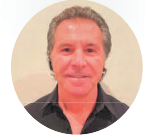
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Project Director,
WinnDevelopment



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The Architectural Team



Michael O'Brien
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Chris Drucas, Esq
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Jeff Dirk
Managing Partner
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Project Summary – Elm Place



- Background
- Project
- DHCD Approval
- Proposal

Community Engagement Process

- Since October 2020 the project team has been meeting with Town Departments and Commissions and holding community meetings to go over the project and get feedback
- Most recently on Nov. 8th and Nov. 15th the project team heard comments from the Planning Board at two public meetings
- The Town of Swampscott conducted a Traffic Peer Review and is in the process of conducting a Utility Peer Review



Adjustments Through Community Engagement Process

Item	January 2021 Application	September 2021 Update
Height	60' from Street Level (Essex and Pitman)	45' from Street Level (Essex and Pitman)
Stories	5 Stories	2 Stories (Essex), 4-5 Stories (Pitman), 5 Stories (Tracks)
Density	128 Units	120 Units
Parking	108 (.84 Ratio)	128 (1.06 ratio)
Architectural Style	Modern	New England Coastal
Emergency Access	Fire Dept. not yet reviewed	Fire Department has reviewed and approved most recent plans
Traffic & Parking	Studies in progress	Traffic Impact Analysis and Parking Demand Analysis complete. Creatively added more project parking.
Accommodation of future potential Rail Trail landing space from rail crossing		Continue to support Town's efforts

Anticipated Unit Mix and Affordability

- Decreased number of units from 128 to 120, but the mix of unit types has remained the same
- 42% Affordable, 58% Market/Middle Income
- **All** 120 project units count toward SHI

Unit Mix					
Unit Type	Studio	1 Bed	2 Bed	3 Bed	Total
Market	1	29	8	0	38
Workforce/Middle-Income ranging from 80%-120% AMI	2	19	5	1	27
At or below 60% AMI	2	24	7	6	39
At or below 30% AMI	2	5	4	5	16
Total	7	77	24	12	120

Example qualifying incomes for a two-person household:

At or below 80% - \$85,920

At or below 60% - \$64,440

At or below 30% - \$32,220

Project Summary – Project Site



MBTA STATION

BURRILL ST

ESSEX ST

PITMAN RD

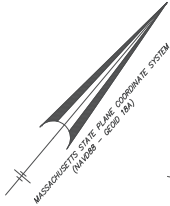
ELM PL

MBTA COMMUTER RAIL

NORFOLK AVE

MIDDLESEX AVE

STETSON AVE



LEGEND

- 100.7 --- SURFACE CONTOUR
- 12" --- STONE WALL
- 12" --- EDGE OF PAVEMENT
- 12" --- EDGE OF GRAVEL
- 12" --- CHAIN LINK FENCE
- 12" --- WOOD FENCE
- 12" --- CURB WITH TOP AND BOTTOM CURB ELEVATION
- 12" --- STONE RETAINING WALL
- 12" --- HEDGE LINE
- 12" --- SERVICELINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
- 12" --- URANINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & 2-INCH CATCHBASIN
- 12" --- WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- 12" --- GAS MAIN WITH SIZE
- 12" --- EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- 12" --- TREE ABBREVIATIONS
- 12" --- SPOT ELEVATION
- 12" --- PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES
- 12" --- PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES
- 12" --- LIGHT POLE
- 12" --- TYPICAL SHRUB
- 12" --- REINFORCED CONCRETE PIPE
- 12" --- CAST IRON
- 12" --- WITHEDED CLAY
- 12" --- DOWN SPOUT
- 12" --- GAS METER
- 12" --- ELECTRIC METER
- 12" --- CONNECTION UNKNOWN
- 12" --- BOLLARD
- 12" --- SIGN
- 12" --- MANHOLE (UNKNOWN UTILITY)
- 12" --- RECORD
- 12" --- SET
- 12" --- FOUND
- 12" --- DRILL HOLE IN CONCRETE BOUND
- 12" --- DRILL HOLE IN STONE BOUND
- 12" --- IRON PIPE
- 12" --- IRON ROD
- 12" --- ESSEX COUNTY STONE BOUND
- 12" --- CENTER BACKYARD
- 12" --- VERTICAL CURB CURB
- 12" --- CONCRETE CURB
- 12" --- BITUMINOUS CONCRETE
- 12" --- CHAIN LINK FENCE
- 12" --- NO PIPE VISIBLE
- 12" --- BIT. BERM CURB

ASSESSORS:

- PARCEL ID. 6-195 ("PARCEL ONE") (29 ESSEX STREET - OCEANVILLE LLC)
- PARCEL ID. 6-243 ("PARCEL TWO") (25 PITMAN ROAD - OCEANVILLE LLC)
- PARCEL ID. 6-199 ("PARCEL THREE") (21 ELM PLACE - REALTY TRUST)
- PARCEL ID. 6-118 ("PARCEL FOUR") (21 ELM PLACE - 21 ELM PLACE REALTY TRUST)

REFERENCES:

- "PARCEL ONE": DEED BOOK 33014, PAGE 11 PLAN 5 OF 1239 PLAN IN BOOK 2622, PAGE 38
- "PARCEL TWO": DEED BOOK 39101, PAGE 37 PLAN 519 OF 1853
- "PARCEL THREE": DEED BOOK 33014, PAGE 20 PLAN IN BOOK 2608, PAGE 238 PLAN BOOK 30, PLAN 7-D
- "PARCEL FOUR": DEED BOOK 14930, PAGE 405

RECORD OWNERS:

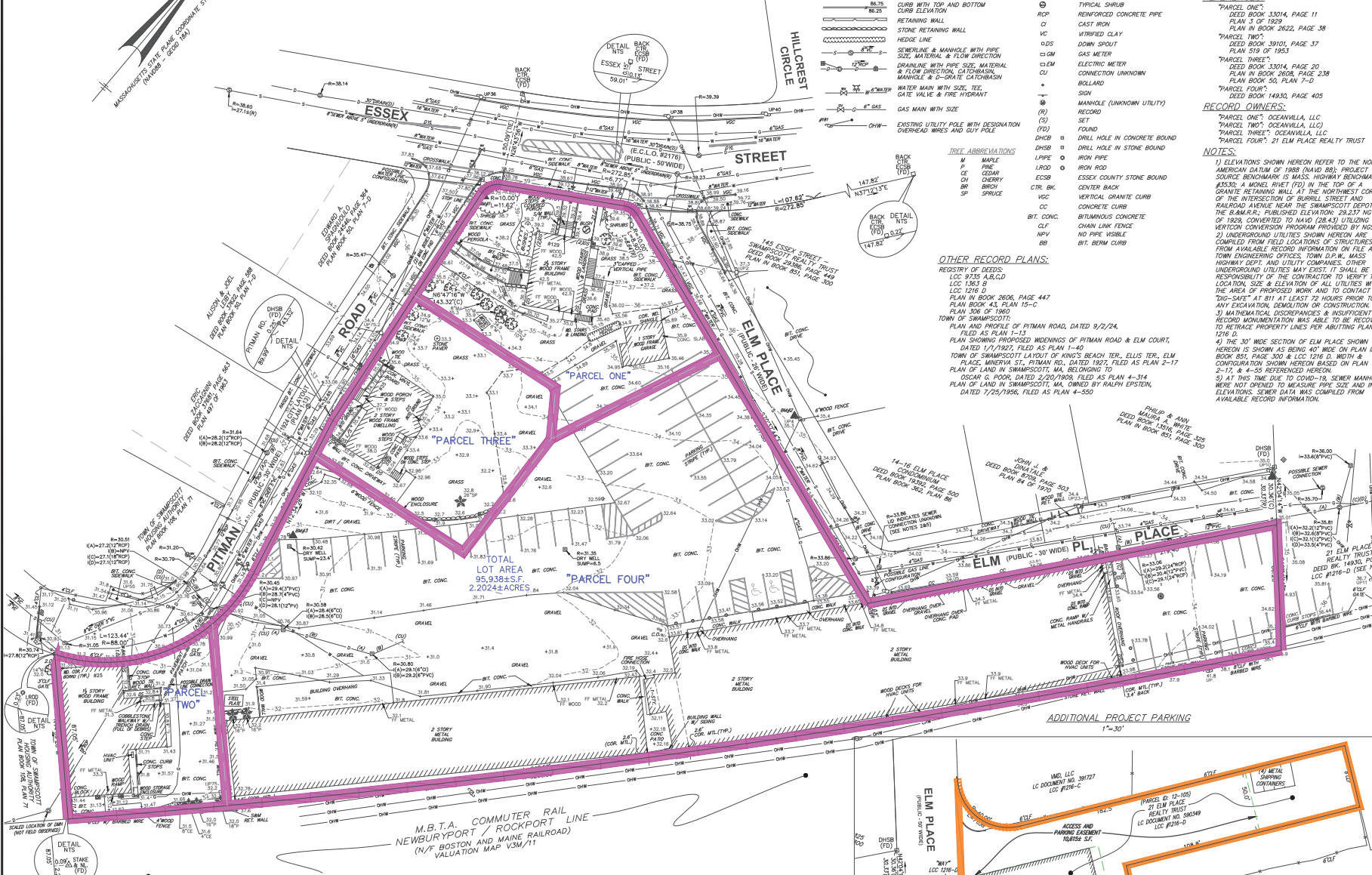
- "PARCEL ONE": OCEANVILLE, LLC
- "PARCEL TWO": OCEANVILLE, LLC
- "PARCEL THREE": OCEANVILLE, LLC
- "PARCEL FOUR": 21 ELM PLACE REALTY TRUST

NOTES:

- 1) ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88). PROJECT SOURCE BENCHMARK IS MASS HIGHWAY BENCHMARK #330. A MODEL RIVET (FD) IN THE TOP OF A GRAVEL RETAINING WALL AT THE NORTHWEST CORNER OF THE INTERSECTION OF BURLING STREET AND RAILROAD AVENUE NEAR THE SWAMPSCOTT DEPOT OF THE B&M R.R. PUBLISHED ELEVATION: 29.237' MGD OF 1929, CONVERTED TO NAVD (28.4') UTILIZING VERTICAL ADJUSTMENT PROGRAM PROVIDED BY MGS.
- 2) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 3) MATHEMATICAL DISCREPANCIES & INSUFFICIENT RECORD MONUMENTATION WAS ABLE TO BE RECOVERED TO RETRACE PROPERTY LINES PER ABUTTING PLAN LOC 1216 D.
- 4) THE 30' WIDE SECTION OF ELM PLACE SHOWN HEREON IS SHOWN AS BEING 40' WIDE ON PLAN IN BOOK 851, PAGE 300 & LOC 1216 D. WIDTH & CONFIGURATION SHOWN HEREON BASED ON PLAN 1-40, 2-12 & 4-55 REFERENCED HEREON.
- 5) AT THIS TIME DUE TO COVID-19, SEWER MANHOLES WERE NOT OPENED TO MEASURE PIPE SIZE AND INVERT ELEVATIONS. SEWER DATA WAS COMPILED FROM AVAILABLE RECORD INFORMATION.

OTHER RECORD PLANS:

- REGISTRY OF DEEDS: LOC 9135 A,B,D
- LOC 1263 D
- LOC 1216 D
- PLAN IN BOOK 2606, PAGE 447
- PLAN BOOK 43, PLAN 15-C
- PLAN BOOK 30, PLAN 7-D
- TOWN OF SWAMPSCOTT: PLAN AND PROFILE OF PITMAN ROAD, DATED 9/2/24, FILED AS PLAN 1-13
- PLAN SHOWING PROPOSED WIDENINGS OF PITMAN ROAD & ELM COURT, DATED 1/17/1927, FILED AS PLAN 1-40
- TOWN OF SWAMPSCOTT LAYOUT OF KING'S BEACH TER., ELLIS TER., ELM PLACE, MINERVA ST., PITMAN RD., DATED 1927, FILED AS PLAN 2-17
- PLAN OF LAND IN SWAMPSCOTT, MA, BELONGING TO OSCAR G. POOR, DATED 2/20/1909, FILED AS PLAN 4-314
- PLAN OF LAND IN SWAMPSCOTT, MA, OWNED BY RALPH EUSTEN, DATED 7/25/1946, FILED AS PLAN 4-550



ELEVATION BENCH MARKS		
DATUM: NAVD88 (SEE NOTE 1)		
NO.	DESCRIPTION	ELEV.
1.	HYDRANT - BOLT OVER MAIN OUTLET	40.59
2.	U.POLE #4 - NAIL (FD) 0.8' A.G.	35.90
3.	LIGHT POLE - SQUARE-CUT (SET) IN CONC. BASE	33.77

ESSEX STREET, ELM PLACE, & PITMAN ROAD

Swampscott, Massachusetts 01907

PREPARED FOR:
WINN DEVELOPMENT COMPANY LIMITED PARTNERSHIP
One Washington Mall, Suite 500
Boston, Massachusetts 02108

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

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EXISTING CONDITIONS PLAN OF LAND IN SWAMPSCOTT, MA

DATE: 7/15/20 (DRAWN BY: ELM SCALE: 1" = 20' CHECK BY: MGS)
LAYOUT: EC304-42 SHEETS: 1 OF 1
PROJECT NO.: 23503

REQUIRED WAIVERS

WAIVERS REQUIRED FOR WORK IN RESIDENTIAL A-4 DISTRICT

1. WAIVER TO ZONING BYLAW §2.2.0.0 REQUIREMENT: MULTI-FAMILY DWELLINGS WITH MORE THAN 8 UNITS NOT ALLOWED IN A-4 ZONE.
PROPOSED: ALLOW MULTI-FAMILY DWELLING WITH MORE THAN 8 UNITS IN A-4 ZONE UNDER COMPREHENSIVE PERMIT.
2. WAIVER TO ZONING BYLAW §2.3.2.0. REQUIREMENT: MINIMUM FRONT YARD SETBACK OF 20 FEET.
PROPOSED: MINIMUM FRONT YARD SETBACK OF 13.1 FEET TO FACE OF BUILDING, 3.8 FEET FROM EDGE OF OVERHANG, AND 5.9' TO EDGE OF OVERHANG SUPPORT COLUMN.
3. WAIVER TO ZONING BYLAW §2.3.2.0. REQUIREMENT: MINIMUM FRONT YARD SETBACK OF 20 FEET.
PROPOSED: MINIMUM FRONT YARD SETBACK OF 9.5 FEET.
4. WAIVER TO ZONING BYLAW §2.3.2.0. REQUIREMENT: MAXIMUM BUILDING COVER IS 30% FOR OVERLAYS.
PROPOSED: MAXIMUM BUILDING COVER OF 56%.
5. WAIVER TO ZONING BYLAW §2.3.2.0. REQUIREMENT: MAXIMUM BUILDING HEIGHT OF 2.5 STORIES OR 35 FEET.
PROPOSED: MAXIMUM BUILDING HEIGHT OF 40 FEET.
6. WAIVER REQUEST TO ZONING BYLAW §2.3.2.0. REQUIREMENT: MINIMUM OPEN SPACE IS 25%.
PROPOSED: MINIMUM OPEN SPACE OF 14%.

WAIVERS REQUIRED FOR WORK IN BUSINESS B-2 DISTRICT

2. WAIVER TO ZONING BYLAW §2.2.0.0 REQUIREMENT: MULTI-FAMILY DWELLINGS WITH MORE THAN 8 UNITS ALLOWED BY SPECIAL PERMIT FROM BOARD OF APPEALS.
PROPOSED: ALLOW MULTI-FAMILY DWELLING WITH MORE THAN 8 UNITS IN B-2 DISTRICT UNDER COMPREHENSIVE PERMIT.
3. WAIVER TO ZONING BYLAW §2.3.2.0. REQUIREMENT: MAXIMUM BUILDING HEIGHT OF 40 FEET.
PROPOSED: MAXIMUM BUILDING HEIGHT OF 60 FEET.
4. WAIVER TO ZONING BYLAW §2.3.2.0. REQUIREMENT: MAXIMUM BUILDING COVER IS 30%.
PROPOSED: MAXIMUM BUILDING COVER OF 56%.
5. WAIVER REQUEST TO ZONING BYLAW §2.3.8.0. REQUIREMENT: MINIMUM REAR SETBACK 30 FEET WHERE B-2 ABUTS RESIDENTIAL DISTRICT.
PROPOSED: NO SETBACK.
6. WAIVER REQUEST TO ZONING BYLAW §2.3.8.0. REQUIREMENT: MINIMUM REAR SETBACK 30 FEET WHERE B-2 ABUTS RESIDENTIAL DISTRICT.
PROPOSED: NO SETBACK.

GENERAL WAIVERS REQUIRED

1. WAIVER TO ZONING BYLAW §3.1.2.0. REQUIREMENT: 1.5 PARKING SPACES REQUIRED PER RESIDENTIAL UNIT.
PROPOSED: 130 SPACES (1.08 SPACES PER UNIT)
2. WAIVER TO ZONING BYLAW §3.1.3.0. REQUIREMENT: DISTANCE FROM PROPOSED USE TO PARKING WITHIN NEARBY LOT SHALL NOT EXCEED 200 FEET.
PROPOSED: DISTANCE FROM FURTHEST PARKING SPACE WITHIN EASEMENT AT 27 ELM PLACE TO CLOSEST ENTRANCE OF PROPOSED BUILDING IS 80 FEET.
3. WAIVER TO ZONING BYLAW §3.1.3.0. REQUIREMENT: MINIMUM PARKING SPACE SIZE SHALL BE 9'x18'.
PROPOSED: ALLOW 8' WIDE BY 20' LONG PARALLEL PARKING SPACES.
4. WAIVER TO ZONING BYLAW §3.1.5.5. REQUIREMENT: OPEN PARKING WITH SIX OR MORE SPACES SHALL BE SET BACK 20 FEET FROM ALL LOT LINES.
PROPOSED: NO SETBACK, PARKING ADJACENT TO STREET.
5. WAIVER TO ZONING BYLAW §3.3.1.2. REQUIREMENT: INTERIOR PLANTING AREAS SHALL HAVE NO DIMENSION LESS THAN 5 FEET.
PROPOSED: MINIMUM DIMENSION IN PLANTING/LANDSCAPED AREAS OF 0.5 FEET.
6. WAIVER TO ZONING BYLAW §3.3.2.1. REQUIREMENT: OFF STREET PARKING CONTAINING MORE THAN SIX SPACES SHALL BE SCREENED BY A STRIP OF AT LEAST 5 FEET WIDE OF SCREENING.
PROPOSED: NO SCREENING, PARKING ADJACENT TO SIDEWALK/ROADWAY.
7. WAIVER TO ZONING BYLAW (GENERAL). WAIVER OF ANY PROVISIONS OF THE ZONING BY-LAW WHICH THE ZONING BOARD OR BOARD OF APPEALS DEEM NECESSARY FOR THE ISSUANCE OF A COMPREHENSIVE PERMIT TO THE APPLICANT BASED UPON THE PETITION AND PLANS SUBMITTED AND NOT SPECIFICALLY LISTED HEREIN ABOVE.

ZONING TABULATION

CURRENT ZONING BY-LAW ADOPTED MAY 2, 2000, UPDATED THROUGH MAY 21, 2019
CURRENT ZONING MAP: SEPTEMBER 19, 2018
ZONING CLASSIFICATION: BUSINESS B-2 DISTRICT AND RESIDENCE A-4 DISTRICT
OVERLAY DISTRICTS: NONE
PROPOSED USE: AFFORDABLE MULTI-FAMILY HOUSING PER CHAPTER 40-B (MULTI-FAMILY HOUSING OVER 8 UNITS IS ALLOWED BY SPECIAL PERMIT FROM ZONING BOARD OF APPEALS IN B-3 DISTRICT, AND NOT ALLOWED IN A-4 DISTRICT)
LOT AREA: 71,135 SF
REQUIRED PERMITS: COMPREHENSIVE PERMIT, DEMOLITION PERMIT, GAS PERMIT, ELECTRIC PERMIT, PLUMBING PERMIT, NPDES GEN. CONSTRUCTION.

ITEM (BYLAW REFERENCE)	REQUIRED BUSINESS B-2	PROPOSED RESIDENCE A-4	PROPOSED B-2	PROPOSED A-4	PROP. OVERALL
MINIMUM LOT AREA (§2.3.2.0)	10,000 S.F.	10,000 S.F.	41,172 S.F.	19,799 S.F.	60,971 S.F.
MINIMUM FRONTAGE (§2.3.2.0)	80 FEET	80 FEET	193 FT.	287 FT.	480 FT.
MINIMUM FRONT YARD SETBACK (§2.3.2.0)	NONE	20 FEET	<SEE NOTE	<SEE NOTE	<SEE NOTE
MINIMUM SIDE YARD SETBACK (§2.3.2.0)	NONE	7.5 FEET	8.6 FT.	N/A	8.6 FT.
MINIMUM REAR YARD SETBACK (§2.3.2.0)	10 FEET	20 FEET	10.0 FT.	9.5 FT.	10.0 FT.
MINIMUM OPEN SPACE (§2.3.2.0)	15%	25.0%	17%	14%	15%
MAXIMUM BUILDING HEIGHT	40 FEET	2.5 STORY/ 35 FEET	4 STORY W/ GARAGE	3 AND 5 STY	5 STORY/ 60 FT
MAXIMUM BUILDING COVERAGE	30%	30%	56%	56%	56%

NOTE: MINIMUM FRONT SETBACK TO FACE OF BUILDING IS 13.1', FROM EDGE OF OVERHANG IS 3.6', AND FROM THE OVERHANG SUPPORT COLUMN IS 5.9'.

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Revision: _____

Engineer of Record: _____

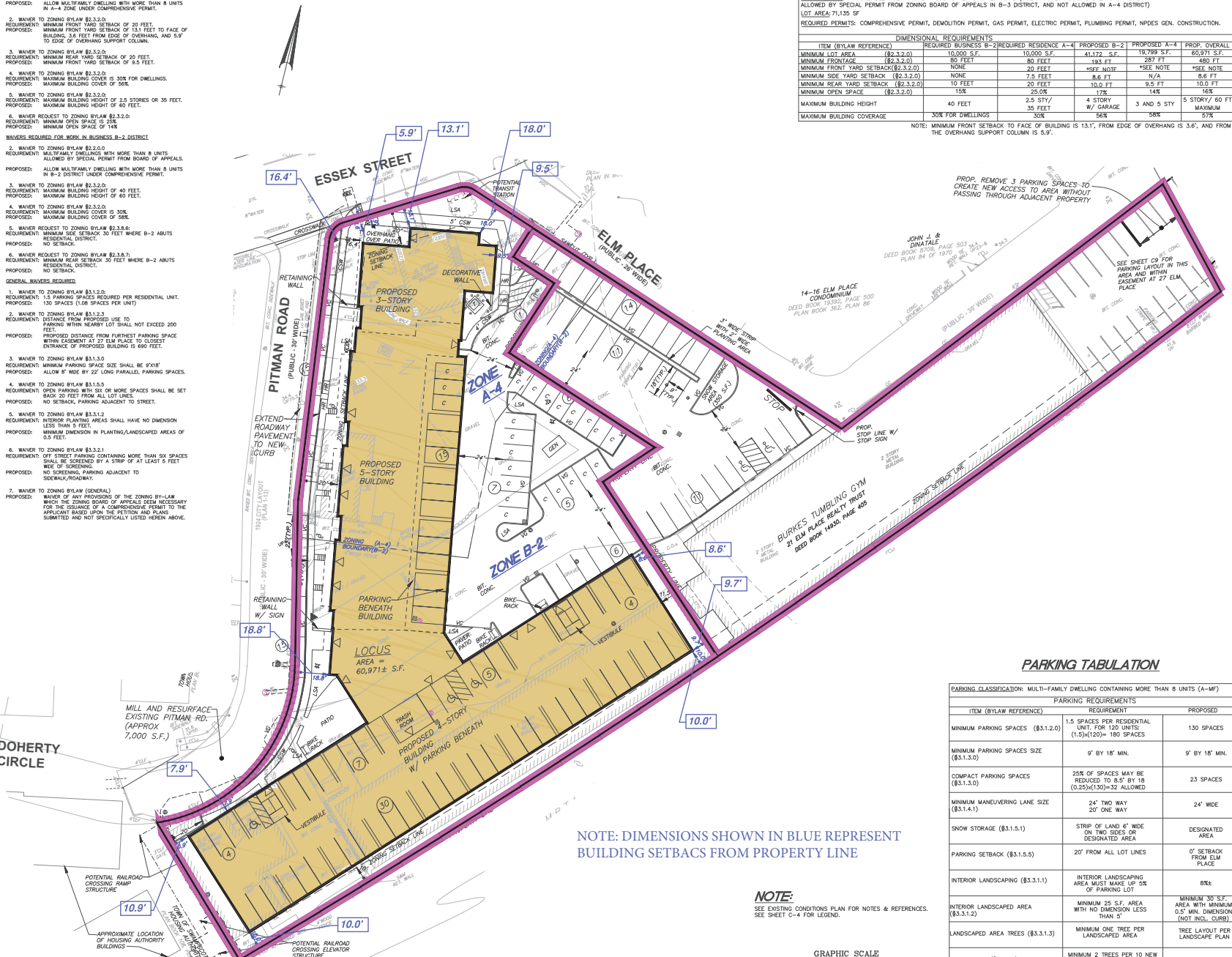
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Checked: DLC
Scale: 1"=20'
Key Plan: _____

Project Name:
ELM PLACE
Comprehensive Permit
Preliminary Site Plan
1 Elm Place, Swampscott, MA 01907
Sheet Name:
LAYOUT AND MATERIALS PLAN

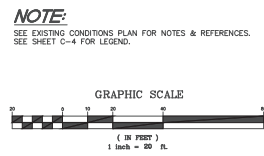
Project Number:
23892 (TAT #19171)

Issue Date:
9/13/21

Sheet Number:
C-3



NOTE: DIMENSIONS SHOWN IN BLUE REPRESENT BUILDING SETBACKS FROM PROPERTY LINE



PARKING TABULATION

PARKING CLASSIFICATION: MULTI-FAMILY DWELLING CONTAINING MORE THAN 8 UNITS (A-MF)

ITEM (BYLAW REFERENCE)	PARKING REQUIREMENTS	PROPOSED
MINIMUM PARKING SPACES (§3.1.2.0)	1.5 SPACES PER RESIDENTIAL UNIT, FOR 120 UNITS: (1.5)(120)= 180 SPACES	130 SPACES
MINIMUM PARKING SPACES SIZE (§3.1.3.0)	9' BY 18' MIN.	9' BY 18' MIN.
COMPACT PARKING SPACES (§3.1.3.0)	25% OF SPACES MAY BE REDUCED TO 8.5' BY 18' (0.25)(130)=32 ALLOWED	23 SPACES
MINIMUM MANEUVERING LANE SIZE (§3.1.4.1)	24' TWO WAY 20' ONE WAY	24' WIDE
SNOW STORAGE (§3.1.5.1)	STRIP OF LAND 6' WIDE ON TWO SIDES OR DESIGNATED AREA	DESIGNATED AREA
PARKING SETBACK (§3.1.5.5)	20' FROM ALL LOT LINES	0' SETBACK FROM ELM PLACE
INTERIOR LANDSCAPING (§3.3.1.1)	INTERIOR LANDSCAPING AREA MUST MAKE UP 5% OF PARKING LOT	8%
INTERIOR LANDSCAPED AREA (§3.3.1.2)	MINIMUM 25 S.F. AREA WITH NO DIMENSION LESS THAN 5'	MINIMUM 30 S.F. AREA WITH MINIMUM 0.5' MIN. DIMENSION (NOT INCL. CURB)
LANDSCAPED AREA TREES (§3.3.1.3)	MINIMUM ONE TREE PER LANDSCAPED AREA	TREE LAYOUT PER LANDSCAPE PLAN
TOTAL TREES (§3.3.1.3)	MINIMUM 2 TREES PER 10 NEW PARKING SPACES. 26 TREES REQUIRED	27 TREES
SCREENING (§3.3.2.1)	MINIMUM 5' WIDTH DENSELY PLANTED WITH TREE/SHRUBS	NO SCREENING ALONG ELM PLACE

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Revision:

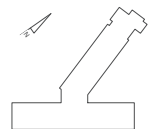
Engineer of Record:

Drawn: JTL

Checked: DLC

Scale: 1"=20'

Key Plan:



Project Name:
ELM PLACE
 Comprehensive Permit
 Preliminary Site Plan
 1 Elm Place, Swampscott, MA 01907

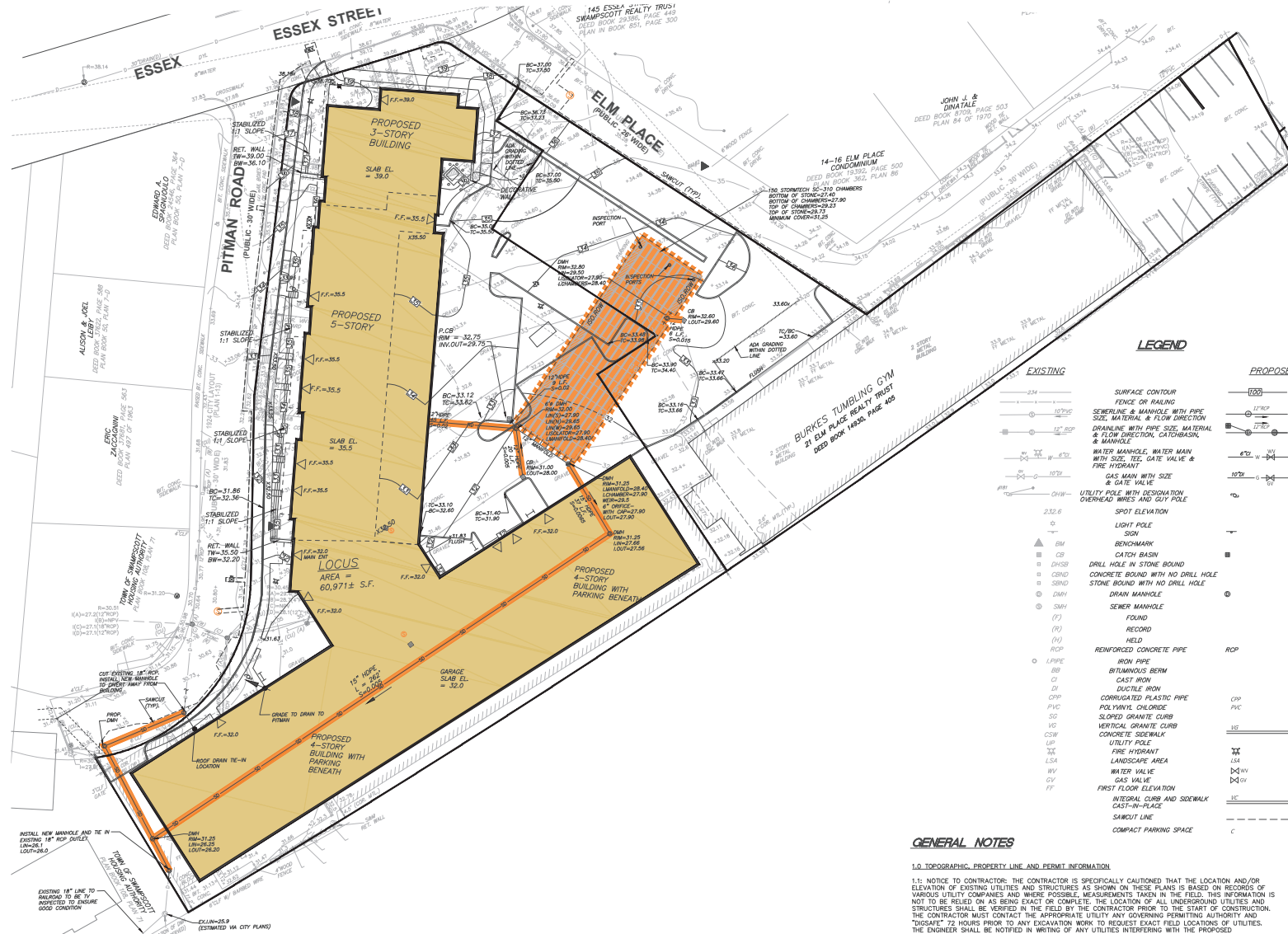
GRADING AND DRAINAGE PLAN

Project Number:
 23892 (TAT #19171)

Issue Date:
 9/13/21

Sheet Number:

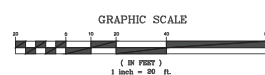
C-4



EXISTING	PROPOSED
23.6	SURFACE CONTOUR
10" ASP	FENCE OR RAILING
12" ASP	SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
18" ASP	DRAINAGE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, & MANHOLE
24" ASP	WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
30" ASP	GAS MAIN WITH SIZE & GATE VALVE
36" ASP	UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
42" ASP	SPOT ELEVATION
48" ASP	LIGHT POLE
54" ASP	SOIL
60" ASP	BENCHMARK
66" ASP	CATCH BASIN
72" ASP	DRILL HOLE IN STONE BOUND
78" ASP	CONCRETE BOUND WITH NO DRILL HOLE
84" ASP	STONE BOUND WITH NO DRILL HOLE
90" ASP	DRAIN MANHOLE
96" ASP	SEWER MANHOLE
102" ASP	FOUND
108" ASP	RECORD
114" ASP	REINFORCED CONCRETE PIPE
120" ASP	IRON PIPE
126" ASP	BITUMINOUS BERM
132" ASP	CAST IRON
138" ASP	DUCTILE IRON
144" ASP	CORRUGATED PLASTIC PIPE
150" ASP	POLYETHYLENE GLYCOL
156" ASP	SLOPED GRANITE CURB
162" ASP	VERTICAL GRANITE CURB
168" ASP	CONCRETE SIDEWALK
174" ASP	UTILITY POLE
180" ASP	FIRE HYDRANT
186" ASP	LANDSCAPE AREA
192" ASP	WATER VALVE
198" ASP	GAS VALVE
204" ASP	FIRST FLOOR ELEVATION
210" ASP	INTEGRAL CURB AND SIDEWALK
216" ASP	CAST-IN-PLACE
222" ASP	SAWCUT LINE
228" ASP	COMPACT PARKING SPACE

GENERAL NOTES

- 1.0 TOPOGRAPHIC, PROPERTY LINE AND PERMIT INFORMATION
- 1.1: NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN IN THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY ANY GOVERNING PERMITTING AUTHORITY AND "DISSAFE" 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- 1.2: PROPERTY LINE AND TOPOGRAPHY: SEE EXISTING CONDITIONS PLAN PREPARED BY HANCOCK ASSOCIATES.
- 1.3: PROJECT SOURCE BENCHMARK IS MASS. HIGHWAY BENCHMARK #3350; A MONEL RIVET (FD) IN THE TOP OF A GRANITE RETAINING WALL AT THE NORTHWEST CORNER OF THE INTERSECTION OF BURRILL STREET AND RAILROAD AVENUE NEAR THE SWAMPSCOTT DEPOT OF THE B&M&R; PUBLISHED ELEVATION: 29.237' NVD OF 1929, CONVERTED TO NAVD (28.43) UTILIZING VERTCON CONVERSION PROGRAM PROVIDED BY NGS.
- 1.4: BENCHMARKS: SEE EXISTING CONDITIONS PLAN
- 1.5: FLOODPLAIN: THE PROJECT SITE FALLS OUTSIDE OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP REVISED TO JULY 16, 2014 (REF: MAP NUMBER 25009005310).
- 1.6: WETLANDS: NO WETLANDS ARE PRESENT WITHIN 500' OF THE PROJECT SITE.



Consultant:

HANCOCK ASSOCIATES

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Revision:

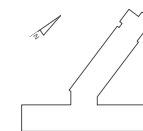
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Key Plan:



Project Name:

ELM PLACE

Comprehensive Permit
 Preliminary Site Plan

1 Elm Place, Swampscott, MA 01907

Sheet Name:

UTILITIES PLAN

Project Number:

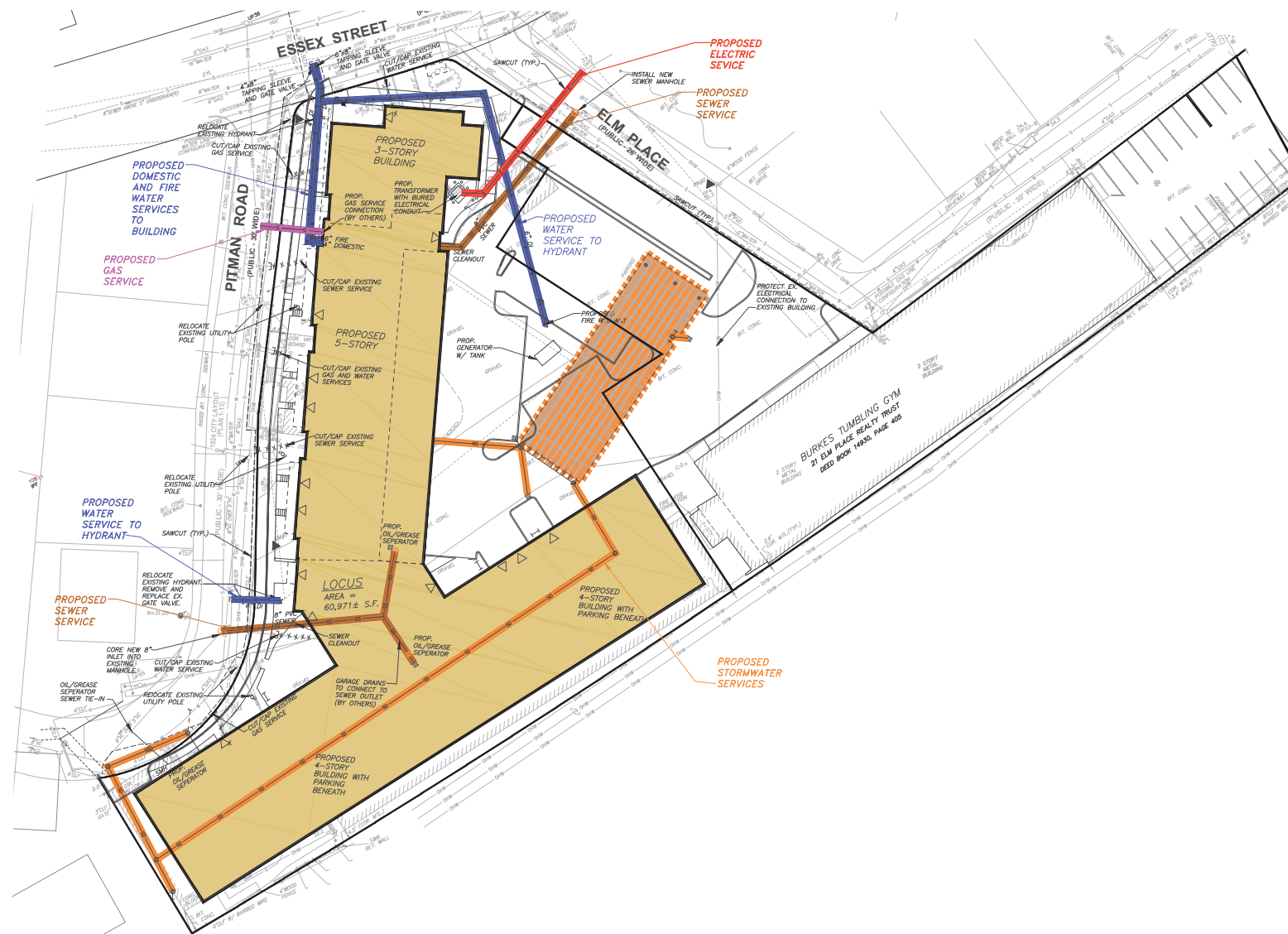
23892 (TAT #19171)

Issue Date:

9/13/21

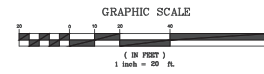
Sheet Number:

C-5



NOTE:

SEE EXISTING CONDITIONS PLAN FOR NOTES & REFERENCES.
 SEE SHEET C-4 FOR LEGEND.



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Revision:

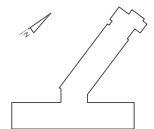
Engineer of Record:

Drawn: JTL

Checked: DLC

Scale: 1"=20'

Key Plan:



Project Name:

ELM PLACE
 Comprehensive Permit
 Preliminary Site Plan

1 Elm Place, Swampscott, MA 01907

Sheet Name:

LANDSCAPE PLAN

Project Number:

23892 (TAT #19171)

Issue Date:

9/13/21

Sheet Number:

C-6



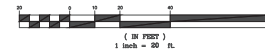
Plant Schedule

Qty	Key	Botanical Name	Common Name	Size
TREES:				
4	ELM	Ulmus americana 'Princeton'	Princeton Elm	9'cal
1	IGN	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	9'cal
4	GPO	Quercus palustris 'Princeton'	Green Pillar Oak	9'cal
1	RM	Acer rubrum 'Red Sunset'	Red Sunset Maple	9'cal
3	ROB	Fagus sylvatica 'Red Obelisk'	Red Obelisk Beech	9'cal
5	TL	Tilia cordata 'Greenspire'	Greenspire Linden/Linden	9'cal
9	ZEL	Zelkova serrata	Village Green Zelkova	9'cal
SHRUBS:				
15	BAY	Myrica pensylvanica	Northern Bayberry	3'
9	CL	Clethra alnifolia	Sweet Pepper	3'
4	EG	Thuja occidentalis 'Emerald Green Arborvitae'	Emerald Green Arborvitae	7-8'
1	ERC	Juniperus virginiana	Eastern Red Cedar	7-8'
60	GLS	Rhus aromatica Gro-Low	Gro-Low Sumac	#3pot
45	GTF	Forsythia 'covensis' 'Gold Tide'	Gold Tide Dwarf Forsythia	#3pot
15	HO	Ilex meservee 'Blue Princess'	Blue Princess Holly	3-5.5'
15	IG	Ilex glabra 'Shamrock'	Shamrock Holly	2-2.5'
60	LPS	Spirea japonica 'Little Princess'	Little Princess Spirea	#3pot
3	ML	Kalmia latifolia	Mountain Laurel	2-2.5'
5	OM	Rhododendron 'Ciga Meitz'	Ciga Meitz Rhododendron	2-2.5'
15	STE	Stephanandra indica	Cultured Stephanandra	#3pot
38	WBX	Buxus 'Wintergem'	Wintergem Boxwood	2-2.5'
GRASSES/PERENNIALS:				
15	CX	Carex pensylvanica	Pennsylvania Sedge	#1pot
60	FG	Pennisetum alopecuroides	Hammitt Fountain Grass	#1pot
8	FRG	Calamagrostis x scutiflora 'Yankee Foxtail'	Yankee Foxtail Grass	#2pot
60	LBS	Schizachyrium scoparium	Little Bluestem	#1pot
5	NBP	Nepeta	Catmint	#1pot
10	RUD	Rudbeckia	Black Eyed Susan	#1pot

NOTE:

SEE EXISTING CONDITIONS PLAN FOR NOTES & REFERENCES.
 SEE SHEET C-4 FOR LEGEND.

GRAPHIC SCALE



TOTAL AREA OF PARKING LOT = 25,000± S.F.
 REQUIRED INTERIOR LANDSCAPE AREA = (25,000)(.05)=1,250 S.F.
 INTERIOR LANDSCAPE AREA PROPOSED = 2,000± S.F.

REQUIRED TREE PLANTINGS = 1 PER LANDSCAPE AREA, MINIMUM OF 2 TREES FOR EVERY 10 PARKING SPACES. 130 SPACES PROPOSED.

REQUIRED TREES = (130)/(10) = 13 AND (13)(2)=26 REQUIRED.

PROPOSED TREES = 27

DOHERTY CIRCLE

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 2020-2021 © TAT

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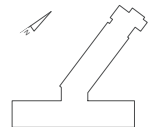


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Scale: 1"=20'

Key Plan:



Project Name:
ELM PLACE
Comprehensive Permit
Preliminary Site Plan

1 Elm Place, Swampscott,
MA 01907

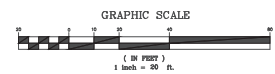
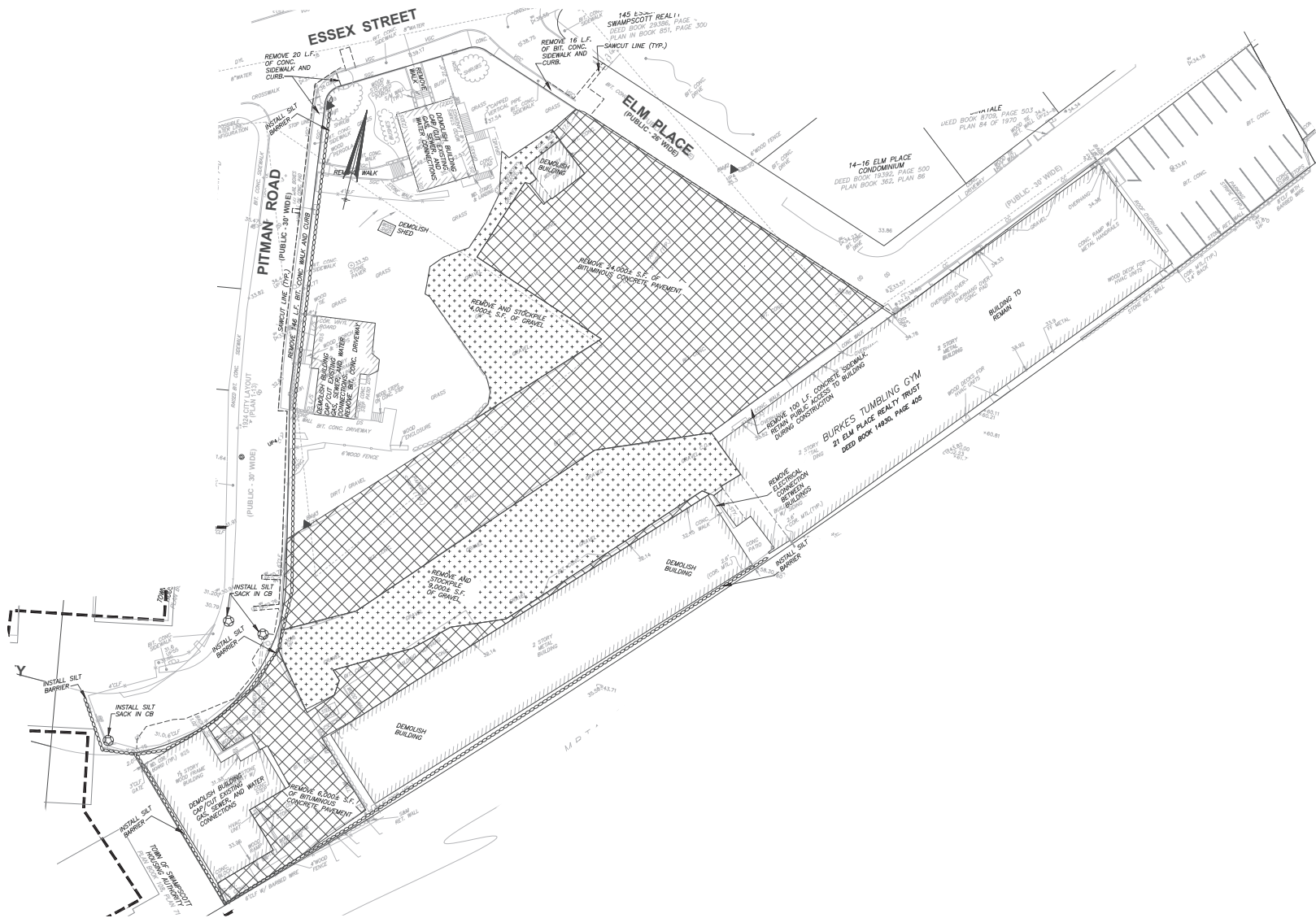
Sheet Name:
**DEMOLITION AND
EROSION CONTROL
PLAN**

Project Number:
23892 (TAT #19171)

Issue Date:
9/13/21

Sheet Number:

C-7



NOTE:
SEE EXISTING CONDITIONS PLAN FOR NOTES & REFERENCES.
SEE SHEET C-4 FOR LEGEND.

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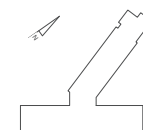
Engineer of Record:

Drawn: JTL

Checked: DLC

Scale: 1"=20'

Key Plan:



Project Name:

ELM PLACE
 Comprehensive Permit
 Preliminary Site Plan

1 Elm Place, Swampscott, MA 01907

Sheet Name:

**EMERGENCY VEHICLE
 SWEPT PATH ANALYSIS
 PLAN**

Project Number:

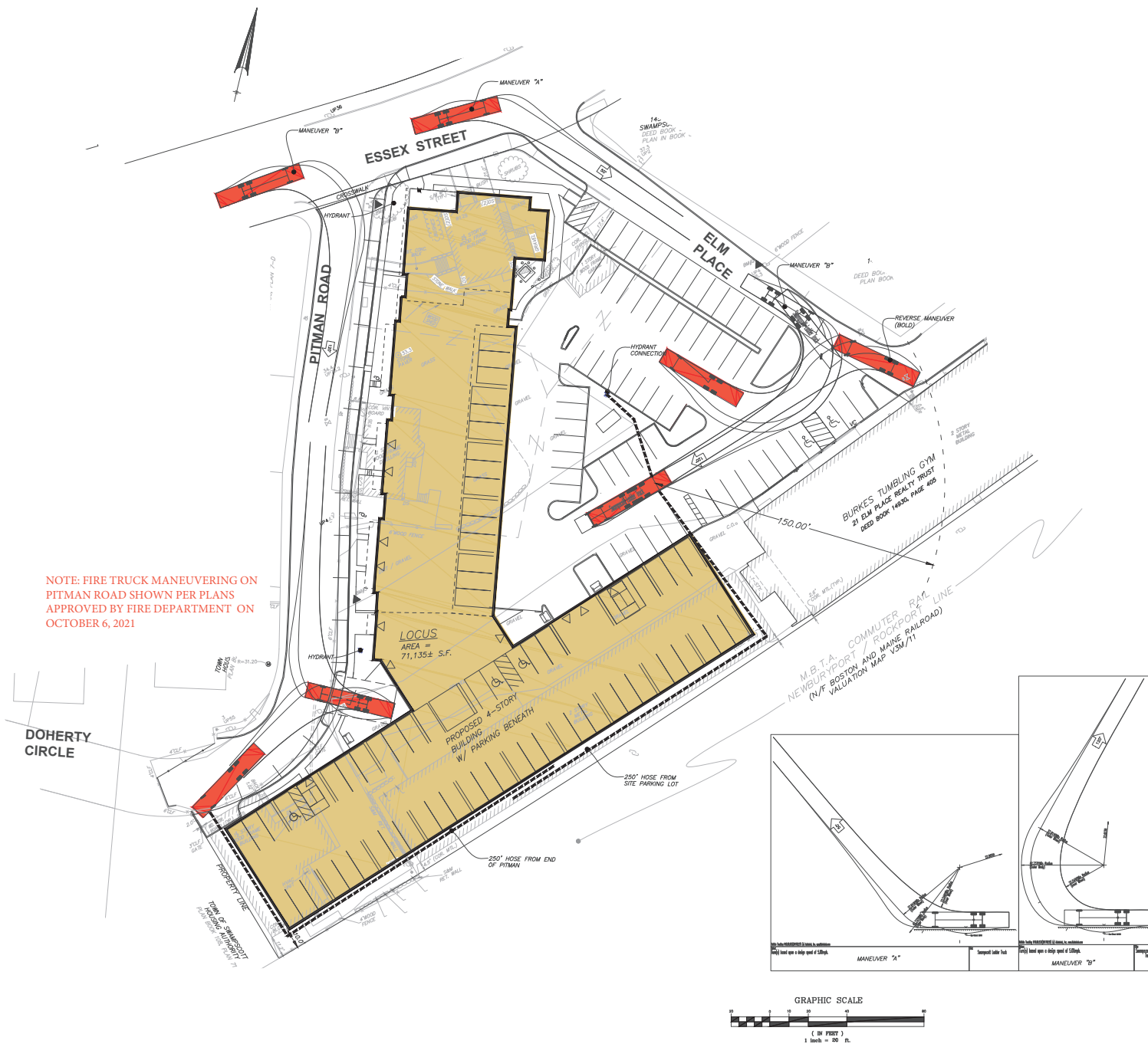
23892 (TAT #19171)

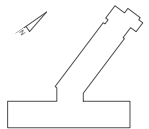
Issue Date:

9/13/21

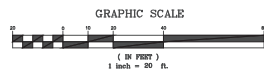
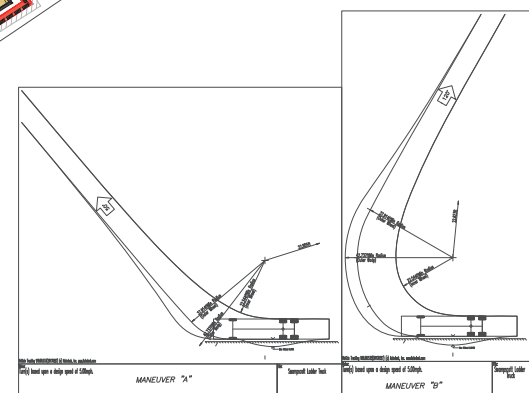
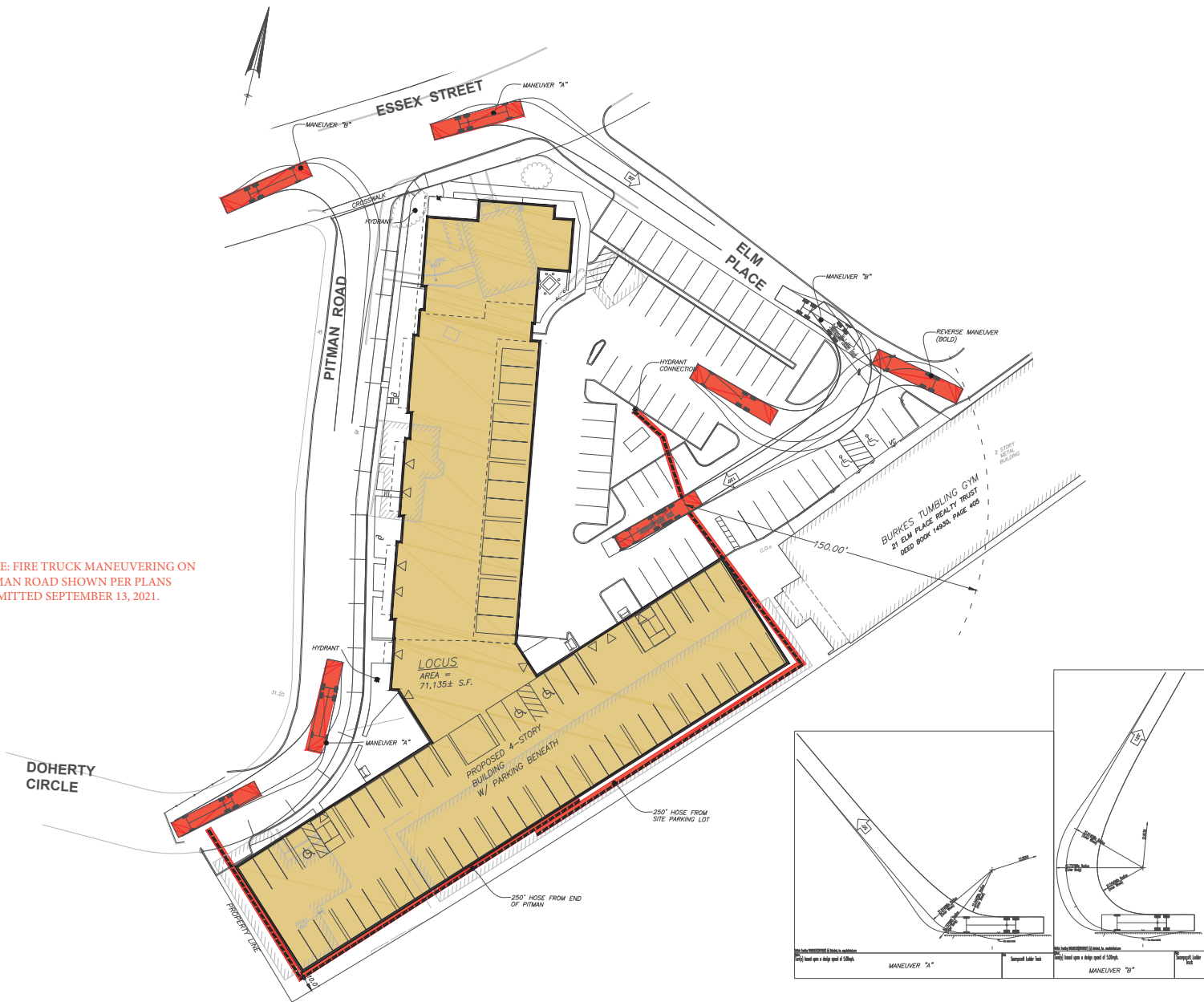
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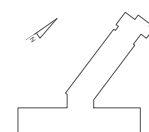
C-8





NOTE: FIRE TRUCK MANEUVERING ON PITMAN ROAD SHOWN PER PLANS SUBMITTED SEPTEMBER 13, 2021.





NOTE: PARKING SHOWN HEREON PER PLANS SUBMITTED 9/13/21. FIRE TRUCK TURNAROUND PER FIRE DEP. APPROVAL ON OCT 6, 2021 REDUCES AVAILABLE PARKING ALONG PITMAN ROAD TO 13 SPACES.

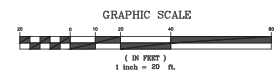
PARKING TABULATION

PROPOSED PARKING COUNT FOR ELM PLACE PROJECT:

— SITE PARKING:	92 SPACES
— ALONG PITMAN ROAD:	15 SPACES
— ADDITIONAL PROJECT PARKING:	23 SPACES
TOTAL	129 SPACES
PROPOSED PARKING PROVIDED FOR #21 ELM	
TOTAL	50 SPACES

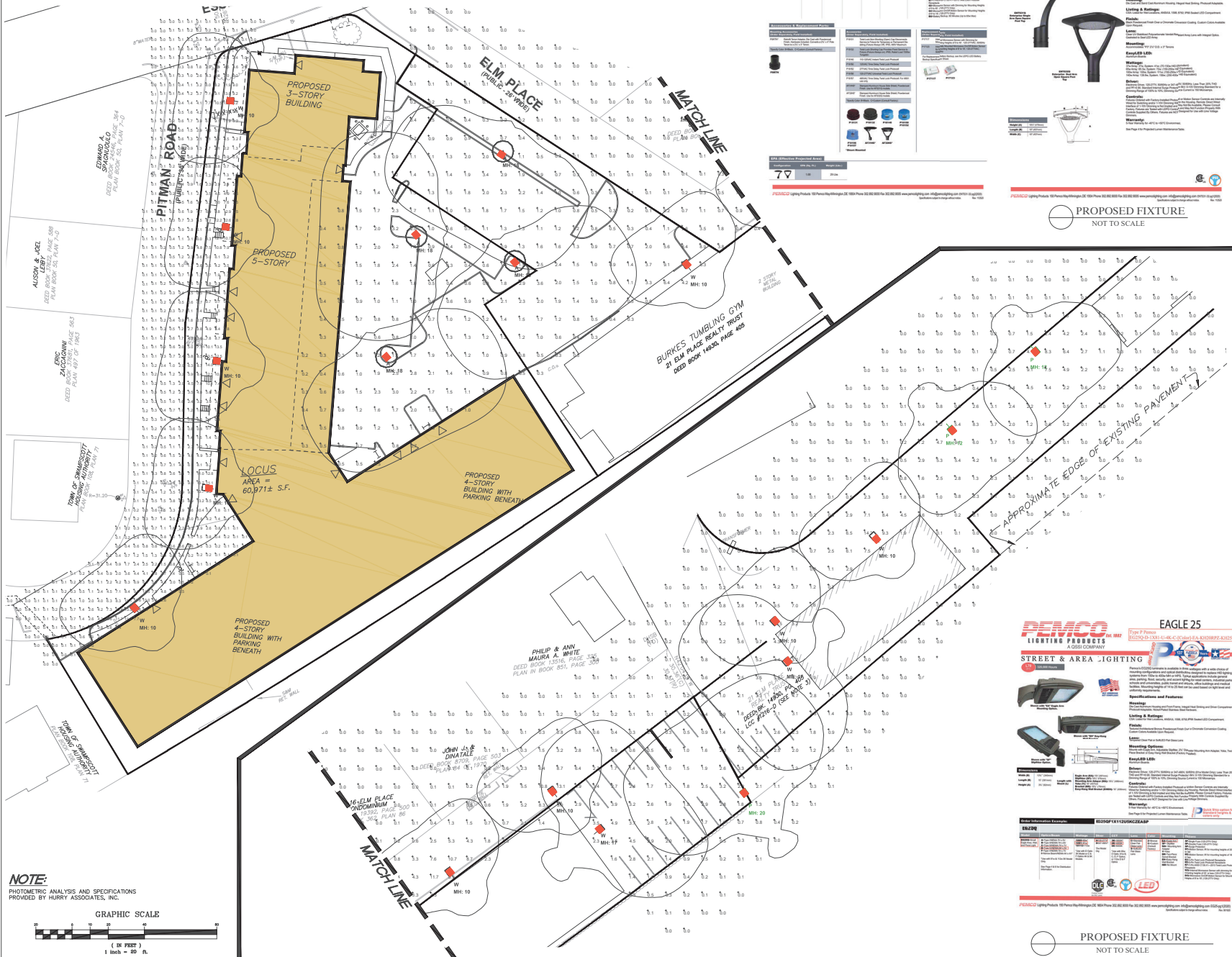
NOTES:

- PER THE SWAMPSCOTT MA ZONING BYLAWS SECTION 2.2.3.0 (TABLE OF PRINCIPAL USES), THE PARADISE STORAGE FACILITY FALLS UNDER PARKING CATEGORY "J—PARKING WAREHOUSE, DISTRIBUTION FACILITY, SELF-STORAGE MINI-WAREHOUSE".
- PER THE SWAMPSCOTT MA ZONING BYLAWS SECTION 4.1.2.0 THE PARKING REQUIREMENTS FOR CATEGORY J USES IS ONE PARKING SPACE PER EMPLOYEE ON THE LARGEST SHIFT, PLUS ONE SPACE FOR EACH COMPANY OWNED OR OPERATED VEHICLE, PLUS SPACE FOR CUSTOMERS' VEHICLES AND LOADING SPACE AS APPROPRIATE



Symbol	Qty	Label	Arrangement	Description	LLF	Lum. Lumens	Lum. Watts
⊙	4	A	SINGLE	ENT331D1X81U4KC	0.950	8226	74.12
⊙	12	W	SINGLE	EG250D1X81U4KC	0.950	9950	84.17
⊙	3	P	SINGLE	EG250D1X81U4KC	0.950	9950	84.17

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPis_1	illuminance	Fc	1.03	14.2	0.0	N.A.	N.A.
Pitman Rd Parking	illuminance	Fc	2.28	14.4	0.0	N.A.	N.A.



PEMCO LIGHTING PRODUCTS A GOS COMPANY
ENTERPRISE 31 & 32 Square
STREET & AREA LIGHTING

ENT331D1X81U4KC

Item	Qty	Part No.	Notes
ENT331D1X81U4KC	4		
EG250D1X81U4KC	12		
EG250D1X81U4KC	3		

79

PEMCO LIGHTING PRODUCTS A GOS COMPANY
ENTERPRISE 31 & 32 Square
STREET & AREA LIGHTING

EG250D1X81U4KC

79

PROPOSED FIXTURE
 NOT TO SCALE

tat

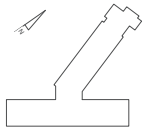
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Revision:

Engineer of Record:

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 Key Plan:



Project Name:
ELM PLACE
 Comprehensive Permit
 Preliminary Site Plan

1 Elm Place, Swampscott, MA 01907

Sheet Name:
PHOTOMETRIC PLAN

Project Number:
 23892 (TAT #19171)

Issue Date:
 9/13/21

Sheet Number:

C-10

NOTE:
 PHOTOMETRIC ANALYSIS AND SPECIFICATIONS
 PROVIDED BY HANCOCK ASSOCIATES, INC.

GRAPHIC SCALE
 (IN FEET)
 1 inch = 30 ft.

PEMCO LIGHTING PRODUCTS A GOS COMPANY
EAGLE 25 Square
STREET & AREA LIGHTING

EG250D1X81U4KC

79

PROPOSED FIXTURE
 NOT TO SCALE

Height and Density – January 2021 Application



128 Units



5 Stories



60' from Essex/Pitman street level
to top of building

Height and Density – Current Project Proposal



120 Units



Strategic building step down on Essex St. (2 stories) and Pittman Rd. (4-5 stories)



45' from Essex/Pitman street level to top of building

Architectural Style - January 2021 Application



Modern ●

Strong Vertical Accentuation ●

Vibrant Earth Tones ●

Minimalist Window Treatment ●

Metallic Panels, brick masonry, and tight patterned siding

Architectural Style – Current Project Proposal



New England
Coastal Style

Mansard and
Gable Roofs

Soft Pastel
Color Palette

Traditional
Siding

Classical
Columns

Double-Hung
Windows



Elm Place

Swampscott, MA | November 30, 2021 | 19171 | © The Architectural Team, Inc.

Site Plan



Elm Place Swampscott, Massachusetts



Transportation Impact Assessment Summary

Prepared by:



November 30, 2021

Transportation Impact Assessment Summary

- ▶ Prepared in accordance with MassDOT's *Transportation Impact Assessment (TIA) Guidelines* and includes a detailed assessment of traffic volumes, pedestrian and bicycle accommodations and public transportation services;
- ▶ Peer review by WoldTech has affirmed the methodology and findings of the TIA and requested that the study area be expanded to include 2 additional intersections (Essex Street/Hillcrest Circle and Essex Street/Essex Terrace);
- ▶ Traffic volumes were adjusted following MassDOT's guidelines for data collected during the COVID-19 pandemic and used pre-COVID data to establish adjustment factors;
- ▶ The analysis concluded that the Project will not result in a significant impact (increase) on motorist delays or vehicle queuing over Existing or anticipated future conditions without the Project (No-Build conditions), with all movements shown to continue to operate at acceptable levels (LOS "D" or better);
- ▶ No apparent safety deficiencies were noted with respect to the motor vehicle crash history at the study area intersections; and
- ▶ Lines of sight to and from Elm Place (south) at its intersection with Essex Street and at the Project site driveway intersection with Elm Place were found to exceed the required minimum distances for safe operation.

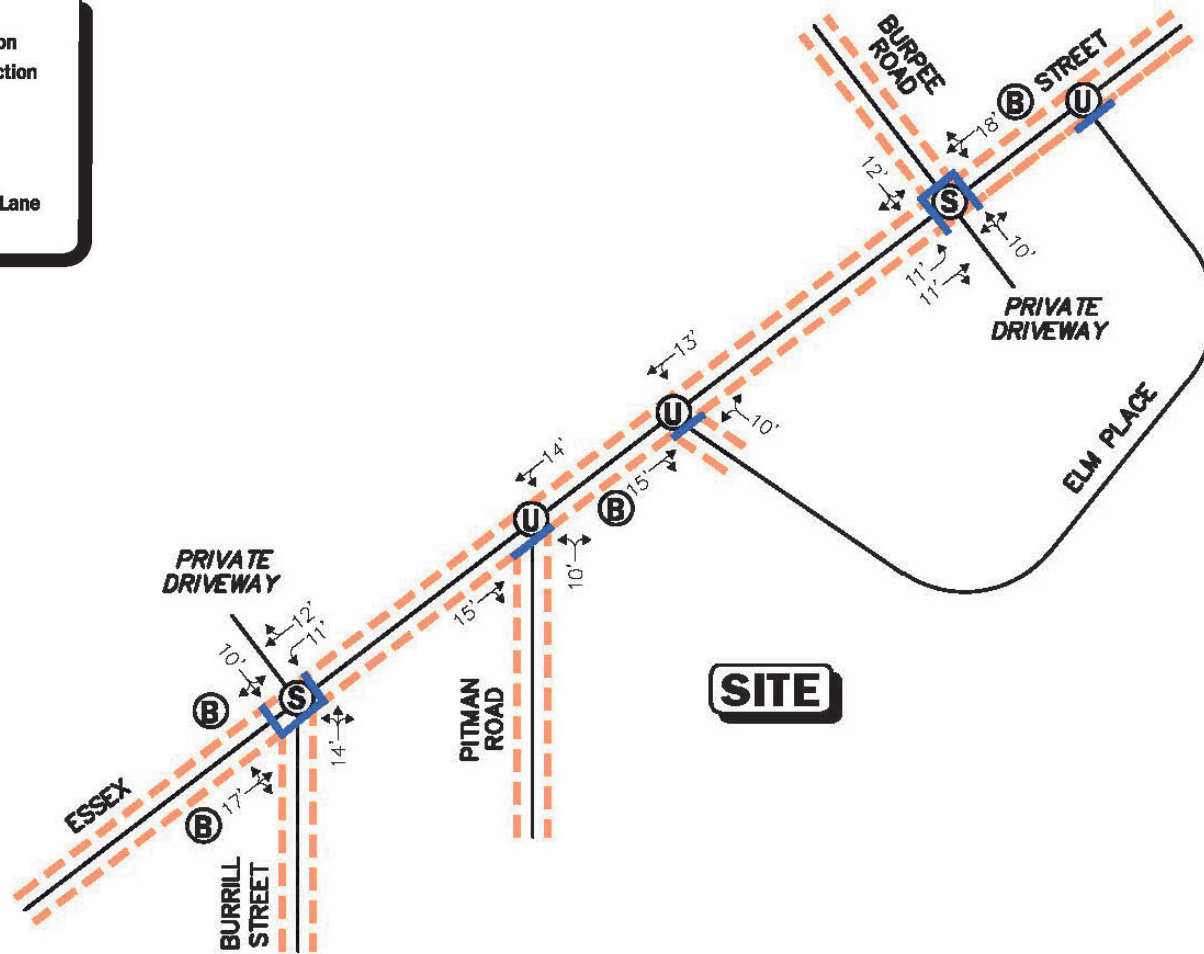
Site Location Map



Existing Conditions

Legend:

- Ⓢ Signalized Intersection
- Ⓤ Unsignalized Intersection
- Ⓟ Bus Stop
- - - Sidewalk
- Crosswalk
- xx' Lane Use and Travel Lane Width



Trip Generation Summary

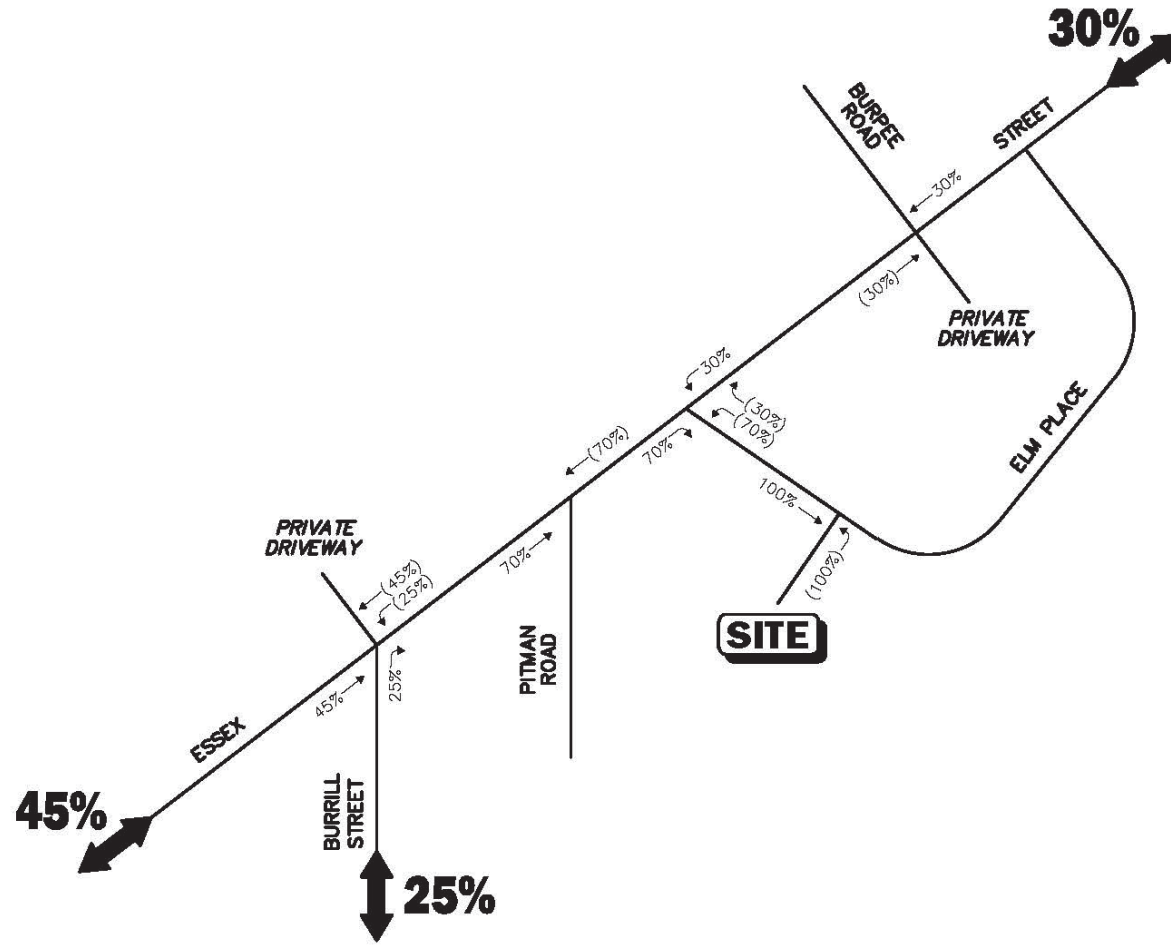
Time Period/Direction	ITE Vehicle Trips ^a	Total Person Trips ^b	Person Trips			Automobile Trips ^c
			Automobile Person Trips (83%)	Transit Trips (15%)	Pedestrian/Bicycle Trips (2%)	
Average Weekday Daily:						
Entering	348	393	326	59	8	289
Exiting	<u>348</u>	<u>393</u>	<u>326</u>	<u>59</u>	<u>8</u>	<u>289</u>
Total	696	786	652	118	16	578
Weekday Morning Peak Hour:						
Entering	11	13	11	2	0	10
Exiting	<u>33</u>	<u>37</u>	<u>30</u>	<u>6</u>	<u>1</u>	<u>26</u>
Total	44	50	41	8	1	36
Weekday Evening Peak Hour:						
Entering	34	38	31	6	1	27
Exiting	<u>22</u>	<u>25</u>	<u>21</u>	<u>4</u>	<u>0</u>	<u>19</u>
Total	56	63	52	10	1	46

^aBased on ITE LUC 221, *Multifamily Housing (Mid-Rise)*, 128 units.

^bITE vehicle trips x 1.13 persons per vehicle.

^cAutomobile person trips divided by 1.13.

Trip Distribution



Parking Demand Observations

Time	Weekday Parking Ratio per Unit				Saturday Parking Ratio per Unit			
	Vantage Pointe Apartments ^a	Bell North Shore Apartments ^b	Hamilton Highlands ^c	Average	Vantage Pointe Apartments ^a	Bell North Shore Apartments ^b	Hamilton Highlands ^c	Average
5:00 AM	1.40	0.86	1.08	1.11	1.35	0.85	1.05	1.08
5:15 AM	1.39	0.88	1.06	1.11	1.35	0.85	1.05	1.08
5:30 AM	1.36	0.88	1.05	1.10	1.33	0.83	1.05	1.07
5:45 AM	1.32	0.86	1.05	1.08	1.34	0.83	1.05	1.07
6:00 AM	1.32	0.86	1.03	1.07	1.34	0.81	1.05	1.07
6:15 AM	1.28	0.86	1.01	1.05	1.35	0.80	1.03	1.06
6:30 AM	1.27	0.85	1.00	1.04	1.35	0.80	1.03	1.06
6:45 AM	1.21	0.78	1.00	1.00	1.35	0.76	1.01	1.04
7:00 AM	1.20	0.76	1.01	0.99	1.31	0.73	1.01	1.02
7:15 AM	1.15	0.75	1.00	0.97	1.28	0.73	0.99	1.00
7:30 AM	1.14	0.75	0.97	0.95	1.26	0.75	0.96	0.99
7:45 AM	1.07	0.73	0.95	0.92	1.25	0.71	0.92	0.96
8:00 AM	1.06	0.73	0.92	0.90	1.21	0.68	0.91	0.93

^aVantage Pointe Apartments located at 100 Vantage Terrace, Swampscott, Massachusetts with 96 units and 189 parking spaces.

^bBell North Shore Apartments located at 1 Carol Way, Salem, Massachusetts with 59 units and 74 parking spaces.

^cHamilton Highlands located at 757 Highland Avenue, Needham, Massachusetts with 77 units and 116 parking spaces.

Recommendations – Site Access

- ▶ The Project site driveway should be a minimum of 24 feet in width and designed to accommodate the turning and maneuvering requirements of emergency vehicles.
- ▶ Where perpendicular parking is proposed, the drive aisle behind the parking should be a minimum of 23 feet in order to facilitate parking maneuvers.
- ▶ Vehicles exiting the Project site should be placed under STOP-sign control with a marked STOP-line provided.
- ▶ All signs and pavement markings to be installed within the Project site should conform to the applicable standards of the Manual on Uniform Traffic Control Devices (MUTCD).
- ▶ ADA compliant wheelchair ramps should be provided at all pedestrian crossings that are constructed or modified as a part of the Project.
- ▶ Signs, landscaping and snow accumulations within intersection sight triangle areas should be designed and maintained so as not to restrict lines of sight.

Recommendations – Off-Site

▶ **Essex Street/Elm Place (South)**

- Install a marked STOP-line be provided on the Elm Place (south) approach
- Install a double-yellow centerline along Elm Place for a minimum distance of 50-feet

▶ **Essex Street Traffic Signal System**

- Design and implement an optimal traffic signal timing, phasing and coordination plan for the intersections of Essex Street with Burrill Street and Essex Street at Burpee Road

Transportation Demand Management Program

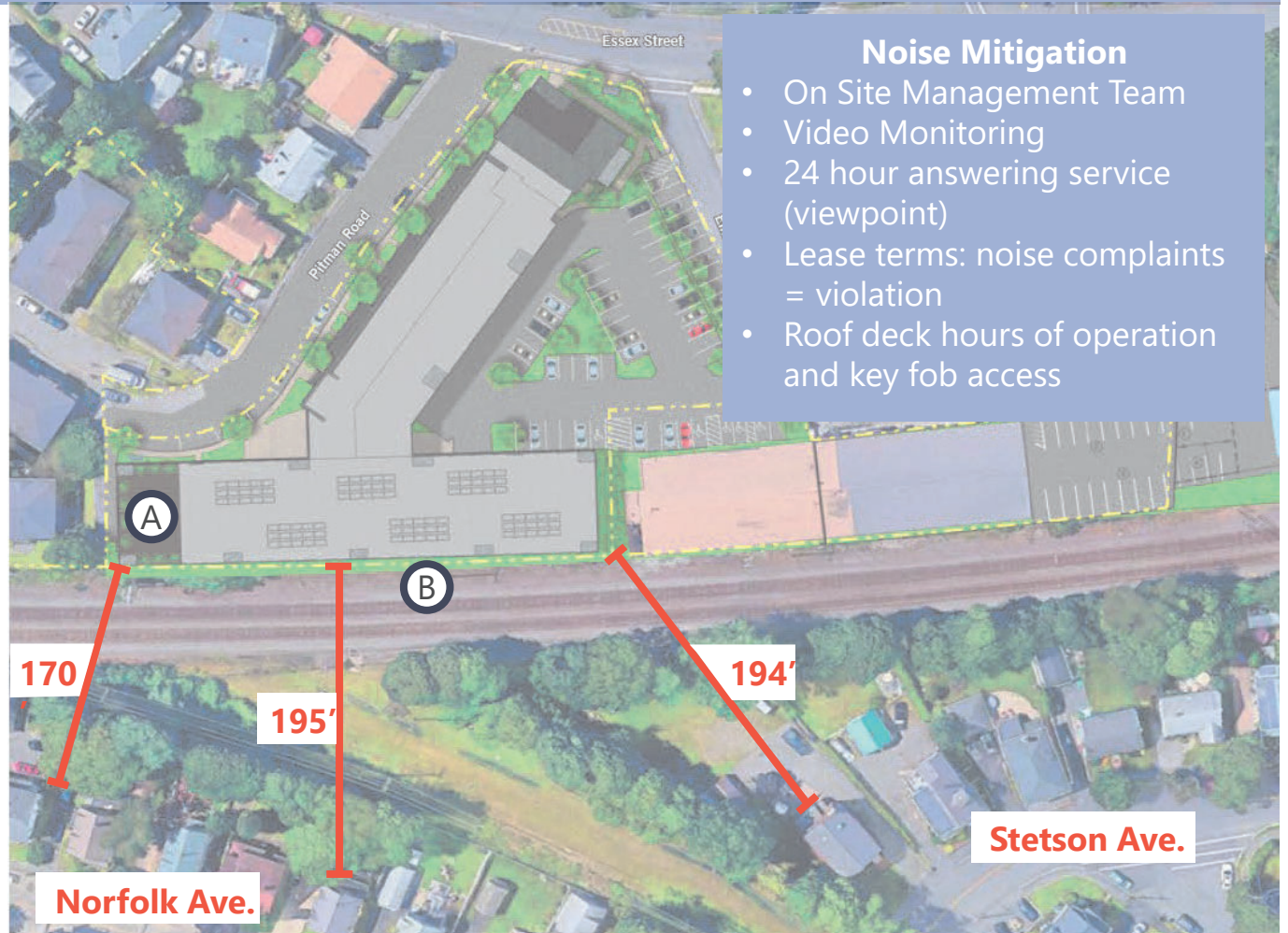
- ▶ A transportation coordinator will be designated to coordinate the TDM program;
- ▶ Information regarding public transportation services, maps, schedules and fare information will be posted in a central location and/or otherwise made available to residents;
- ▶ A “welcome packet” will be provided to residents detailing available public transportation services, bicycle and walking alternatives, and commuter options available;
- ▶ Work-at-home workspaces will be provided to support telecommuting by residents;
- ▶ Pedestrian accommodations will be incorporated into the Project and consist of connections to existing sidewalks and ADA compliant wheelchair ramps;
- ▶ An internal mail room will be provided within the building; and
- ▶ Secure bicycle parking will be provided.

Q&A

End of ZBA Presentation

- The following slides contain additional information about the project based on comments received from community meetings.

Privacy and Noise



Norfolk Ave Perspective



Stetson Ave Perspective



Elm Place Perspective



Elevations



13 EXTERIOR ELEVATION NORTH EAST - ELM PLACE
Scale: 1/16" = 1'-0"



11 EXTERIOR ELEVATION EAST - ELM PLACE
Scale: 1/16" = 1'-0"

Elevations



12

EXTERIOR ELEVATION NORTH - ESSEX STREET

Scale: 1/16" = 1'-0"

Elevations



13 EXTERIOR ELEVATION SOUTH WEST - PITMAN ROAD
Scale: 1/16" = 1'-0"



11 EXTERIOR ELEVATION NORTH WEST - ELM PLACE
Scale: 1/16" = 1'-0"

Elevations



13 EXTERIOR ELEVATION SOUTH WEST - PITMAN ROAD
Scale: 1/16" = 1'-0"



11 EXTERIOR ELEVATION NORTH WEST - ELM PLACE
Scale: 1/16" = 1'-0"

Elevations



ROOF	90'-0"
LEVEL 5	79'-0"
LEVEL 4	68'-10"
LEVEL 3	58'-2"
LEVEL 2	47'-6"
LEVEL 1.3	40'-0"
LEVEL 1.2	35'-6"
LEVEL 1.1	32'-0"

12 EXTERIOR ELEVATION NORTH WEST - PITMAN ROAD
Scale: 1/16" = 1'-0"



ROOF	90'-0"
LEVEL 5	79'-0"
LEVEL 4	68'-10"
LEVEL 3	58'-2"
LEVEL 2	47'-6"
LEVEL 1.3	40'-0"
LEVEL 1.2	35'-6"
LEVEL 1.1	32'-0"

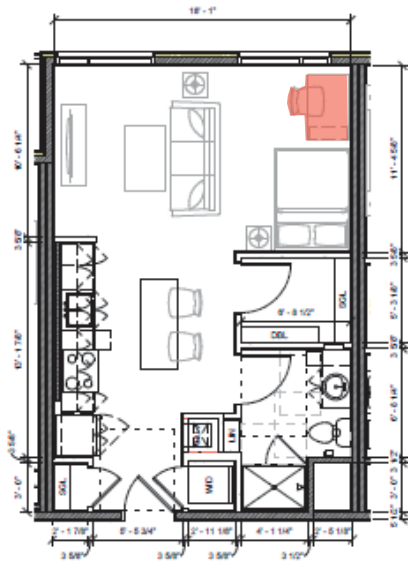
10 EXTERIOR ELEVATION SOUTH EAST - TRAIN TRACKS
Scale: 1/16" = 1'-0"

Traffic Mitigation: Design Amenities

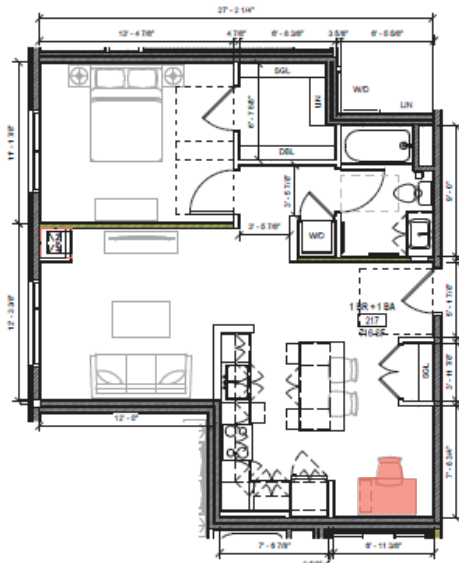
Concept Exploration

Design Amenities to Accommodate Remote Work

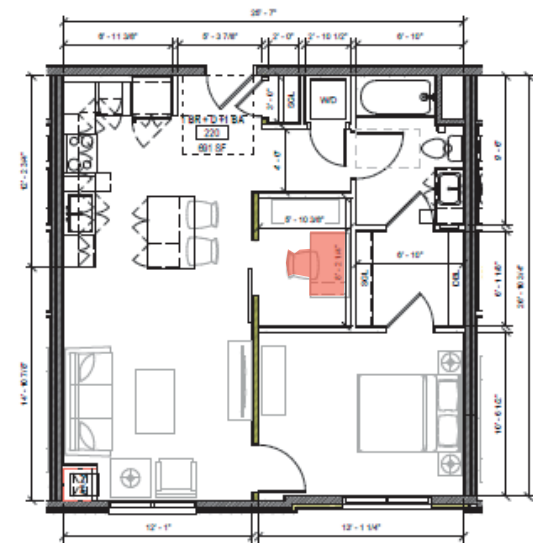
- In-Unit work from home workspaces
- Three amenity spaces with tables, desks, collaborative spaces and Wifi



Studio

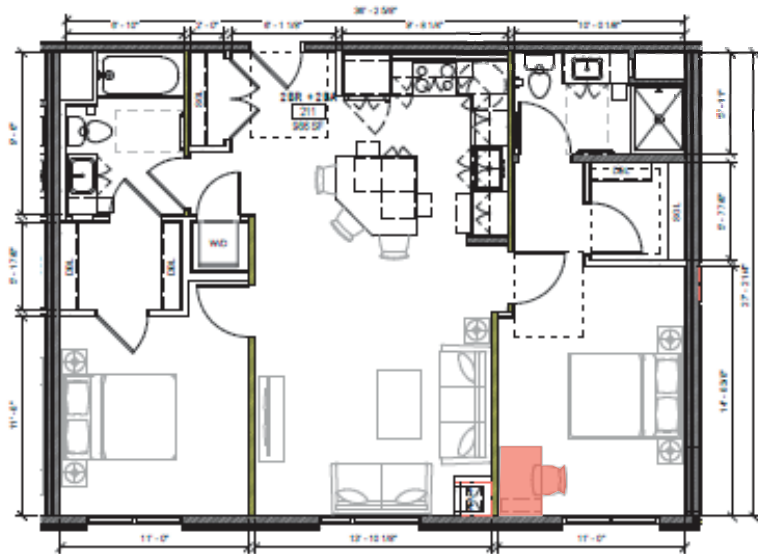


1BR



1BR + Den

Traffic Mitigation: Design Amenities

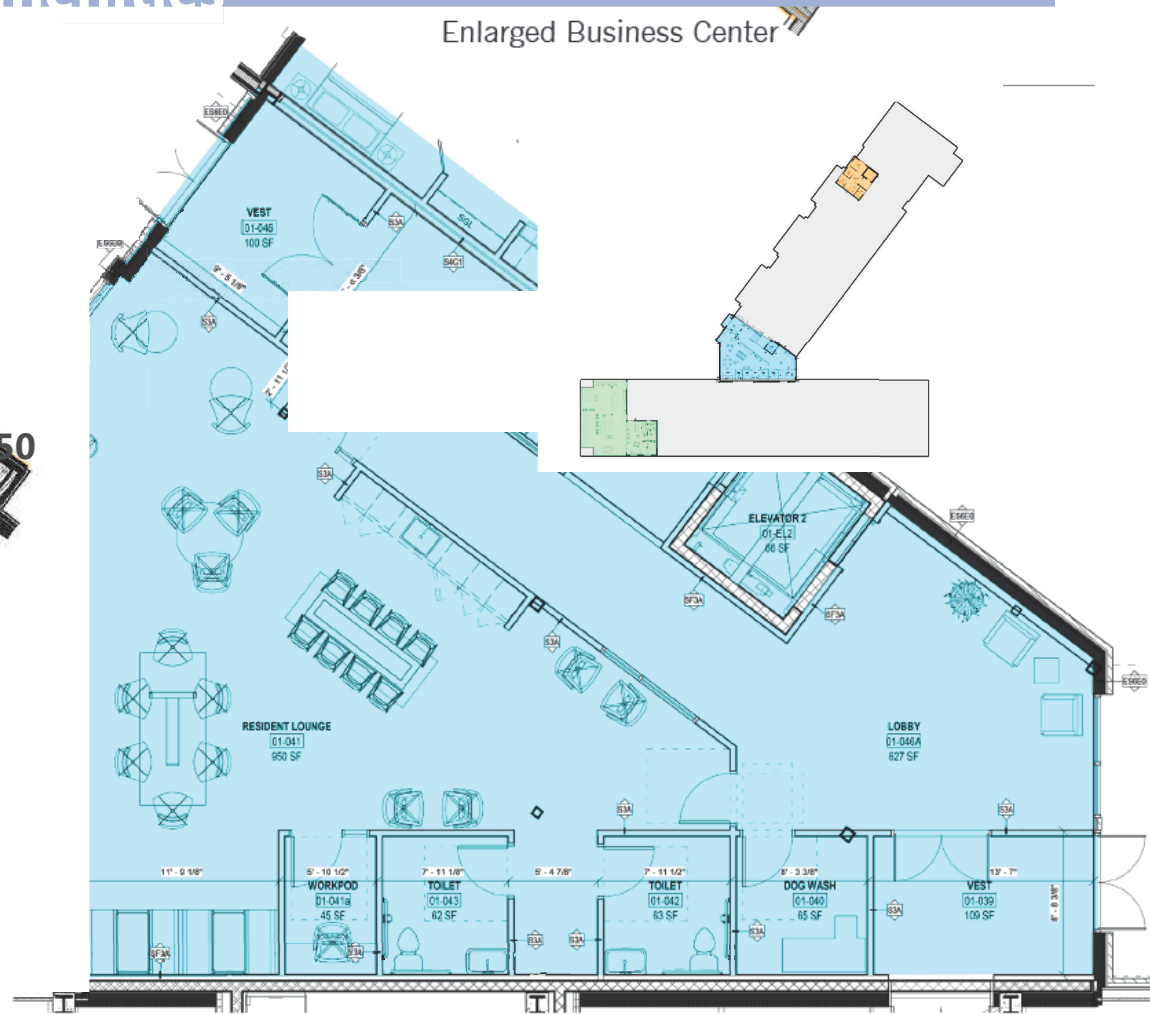


2BR

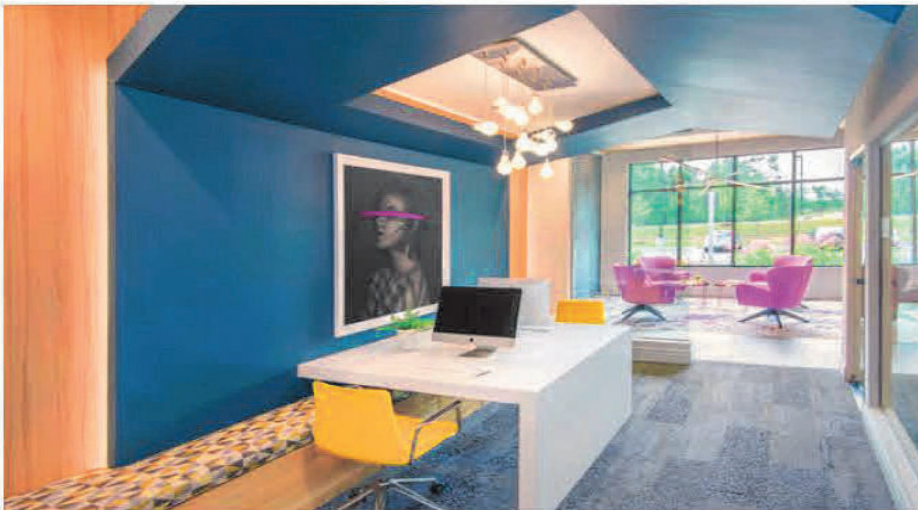


3BR

Traffic Mitigation: Design Amenities

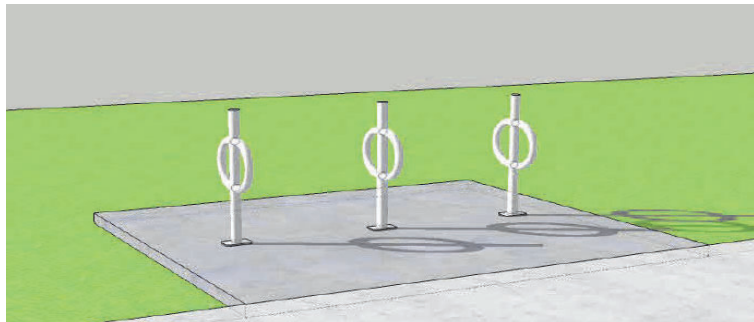


Traffic Mitigation: Design Amenities



Traffic Mitigation: Bicycle Opportunities

	Concept Exploration
Bicycle Opportunities	<ul style="list-style-type: none">• Met with Marketing Manager for Bluebikes to explore bike sharing – do not offer developer sponsored stations• Implementation of minimum 4 bike racks accommodating at least 48 bikes at any point in time



Potential Traffic Mitigation: Transit Screen

Concept Exploration

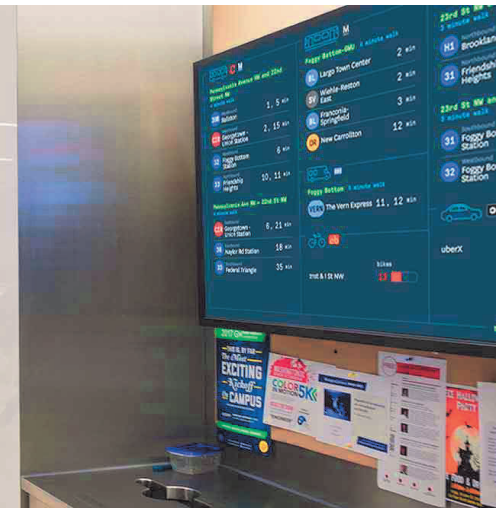
Transit Screen for Commuter Rail and Bus Services

- Met with head of sales to determine goals / needs of our project
- Received formal proposal
- Exploring success and utilization across similar properties

The screenshot displays a digital transit screen with the following sections:

- McPherson Square** (7 minute walk):
 - OR New Carrollton 1 min
 - BL Franconia-Springfield 3 min
- Farragut North** (8 minute walk):
 - RD Grosvenor-Strathmore 2 min
 - RD Shady Grove 5 min
 - RD Silver Spring 5 min
 - RD Glenmont 10 min
- K & 14th** (8 minute walk):
 - CL Georgetown - Union Station 6, 9 min
 - DL Stadium - Armory 7, 17 min
 - BL Fort Totten 10 min
- 16th & M (northbound)** (2 minute walk):
 - BL 16th & Colorado 2, 4 min
 - BL Silver Spring Station 3, 4 min
- 16th & M (southbound)** (2 minute walk):
 - BL Federal Triangle 22, 31 min
 - BL Franklin Square 29 min
- K & 15th** (3 minute walk):
 - BL Barcroft 2 min
 - DL Stadium - Armory 2, 6 min
 - DL Ivy City 3, 14 min
- 15th & L St NW** (bikes): 0
- 14th & Rhode Island Ave NW** (bikes): 16
- Thomas Circle** (bikes): 3
- UBER**: uberX 3 min away
- NW 1500-1598 S St** (single walk): 14 min
- Traffic travel times** (via drive time to now in 30 min):

Route	Now	In 30 min
16th St NW	28 min	29 min
14th St Bridge	37 min	37 min
Dulles Intl Airport	74 min	73 min
- 1776 Techmasters!** promotion: "Want to get better at public speaking? Join us for Techmaster every Friday @9!"
- Weather**: 6:10 pm Wednesday, December 7, 42°F



Potential Traffic Mitigation

	Concept Exploration
Ride Sharing	<ul style="list-style-type: none">• Exploring ride sharing services like zipcar, Car2go• Reaching out to nearby residential projects about shuttle services implementation• EV Charging stations in garage

