LAVALLEE | BRENSINGER ARCHITECTS

# SWAMPSCOTT ELEMENTARY SCHOOL

**OWNER:**
**TOWN OF SWAMPSCOTT**

10 WHITMAN ROAD, SWAMPSCOTT, MA 01907

**ARCHITECT:**
**Lavallee Brensinger Architects**
99 Bedford Street
Boston, MA 02111
617.398.2035

155 Dow Street, Suite 400
Manchester, NH 03101
603.622.5450

www.LBPA.com

**OWNER'S PROJECT MANAGER:**
**Hill International**
75 Second Avenue, Suite 300
Needham, MA 02494
617.778.0900
www.hillintl.com

**CIVIL ENGINEER:**
**Nitsch Engineering**
2 Center Plaza, Suite 230
Boston, MA 02108
617.338.0063
www.nitscheng.com

**LANDSCAPE ARCHITECT:**
**Terraink**
7 Central Street, Suite 150
Arlington, MA 02476
781.316.1595
www.terraink.com

**STRUCTURAL ENGINEER:**
**Foley Buhl Roberts & Associates**
2150 Washington Street
Newton, MA 02462
617.527.9600
www.fbra.com

**MECHANICAL / ELECTRICAL ENGINEER:**
**Consulting Engineering Services**
128 Carnegie Row, Suite 204
Norwood, MA 02062
617.261.7161
www.ceseng.com

**PLUMBING AND FIRE PROTECTION ENGINEER:**
**Robert W. Hall Consulting Engineers**
540 Meadow Street Extension
Agawam, MA 01001
413.789.0960
www.rwhces.wordpress.com

**FOOD SERVICE:**
**Crabtree McGrath Associates, Inc.**
161 West Main Street
Gardner, MA 01833
978.352.8500
www.crabtree-mcgrath.com

**FOR ADDITIONAL INFORMATION, REFER TO PROJECT NARRATIVE**

**DRAWING LIST**


COVER SHEET

EXISTING CONDITIONS SURVEY
X-X EXISTING CONDITIONS PLAN - SCHOOL AND UU CHURCH SITES
EX-1 EXISTING CONDITIONS SURVEY - SCHOOL
T-1 TOPOGRAPHIC PLAN OF LAND - UU CHURCH

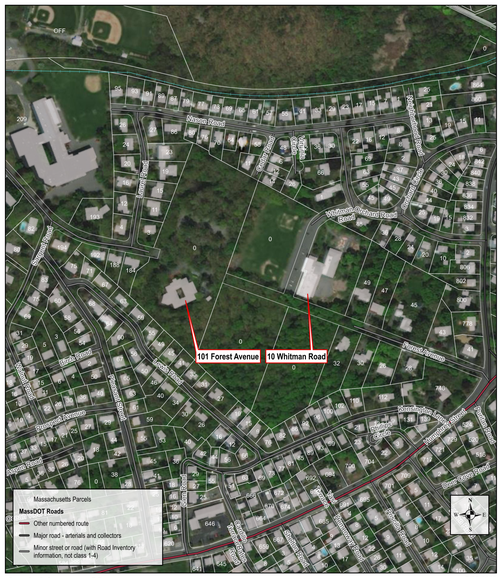
CIVIL
C-000 CIVIL NOTES, LEGENDS, AND ABBREVIATIONS
C-100 SITE DEMOLITION, EROSION CONTROL & SEDIMENTATION PLAN
C-101 SITE DEMOLITION, EROSION CONTROL & SEDIMENTATION PLAN
C-200 SITE LAYOUT AND MATERIALS PLAN
C-201 SITE LAYOUT AND MATERIALS PLAN
C-300 SITE UTILITY PLAN
C-301 SITE UTILITY PLAN
C-400 SITE DRAINAGE PLAN
C-401 SITE DRAINAGE PLAN
C-500 SITE GRADING PLAN
C-501 SITE GRADING PLAN
C-600 SITE EROSION CONTROL & SEDIMENTATION DETAILS

LANDSCAPE
L1.01 LAYOUT AND MATERIALS
L3.01 PLANTING

TRAFFIC
T1 TEMPORARY TRAFFIC CONTROL PLAN


## TOWN OF SWAMPSCOTT

10 WHITMAN ROAD, SWAMPSCOTT, MA 01907




**Aerial Locus Map**
Swampscott Middle School
10 Whitman Rd and 101 Forest Ave
Swampscott, MA
Data Source: MassGIS
Nitsch Project #13858

3/22/2022

0 100 200 400 Feet
Scale: 1 Inch = 400 Feet

Nitsch Engineering

***NOT FOR CONSTRUCTION***


COPYRIGHT © 2022 LAVALLEE BRENSINGER PLLC. ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PRIOR WRITTEN PERMISSION.





4/8/2022 1:19:21 PM C:\Projects\19-097-00_Hadley ES_Building_Central_V22_david.harris@lbpa.com.rvt

LAVALLEE BRENSINGER
ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

[redacted]

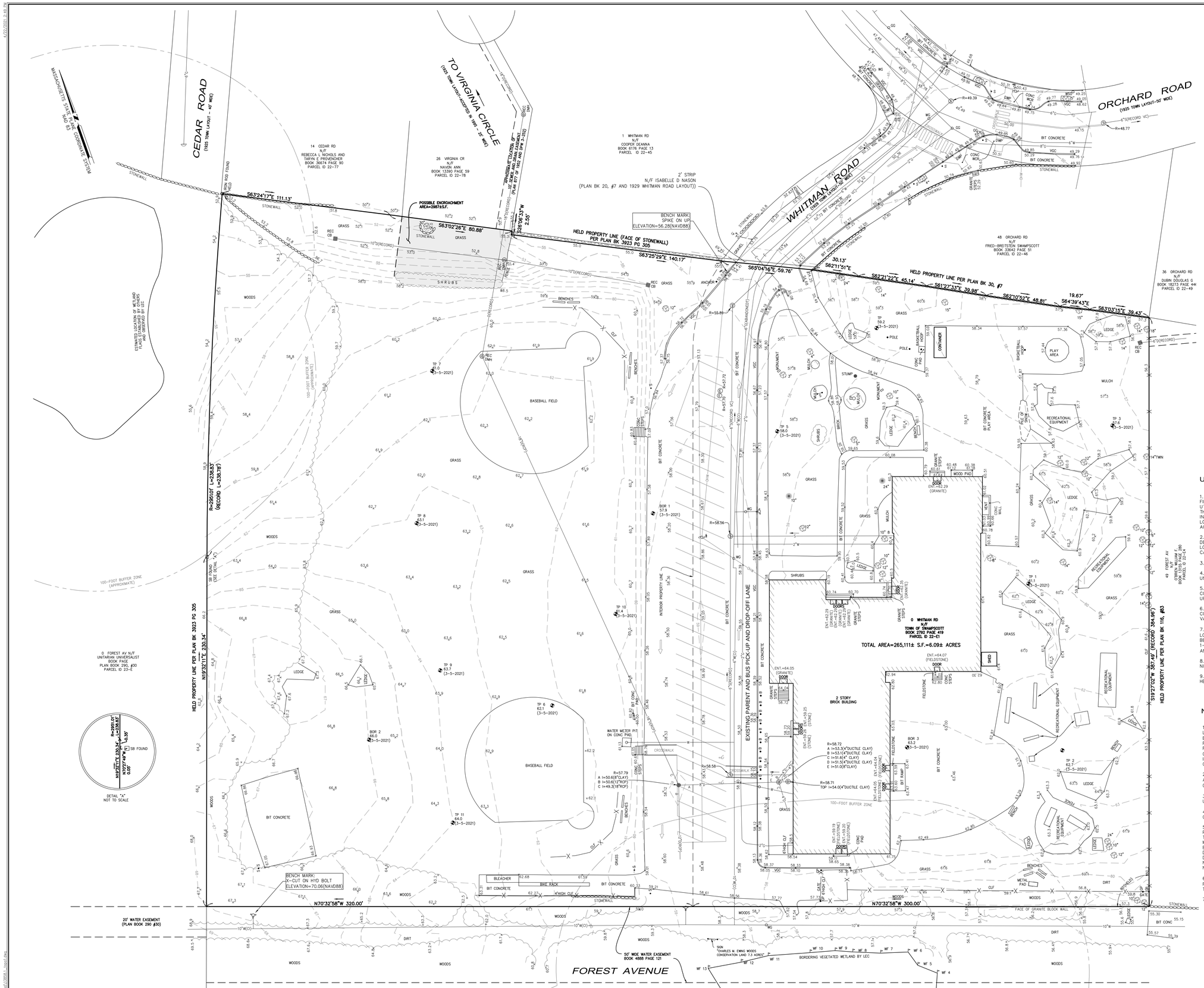
FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.

CONTENT:
EXISTING CONDITIONS PLAN
SCHOOL AND UU CHURCH SITES

| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | X-X |

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.




## LEGEND

| | |
|---|---|
| | CATCH BASIN |
| CB | CABLE TELEVISION MANHOLE |
| D | DRAIN MANHOLE |
| E | ELECTRIC MANHOLE |
| M | MISCELLANEOUS MANHOLE |
| S | SEWER MANHOLE |
| T | TELEPHONE MANHOLE |
| W | WATER MANHOLE |
| GSO | GAS SHUT-OFF |
| WSO | WATER SHUT-OFF |
| GG | GAS GATE |
| WG | WATER GATE |
| ICV | IRRIGATION CONTROL VALVE |
| CLEANOUT | CLEANOUT |
| BWW | BOSTON WATER WORKS |
| | FIRE HYDRANT |
| DS | DOWN SPOUT |
| UP | UTILITY POLE |
| UP W/ UE | UTILITY POLE WITH CONDUIT LINE TO GROUND |
| | LIGHT POLE |
| LB | LIGHT BOLLARD |
| LL | LANDSCAPE LIGHT |
| HH | HAND HOLE |
| TC | TRASH CAN |
| FACB | FIRE ALARM CALL BOX |
| MP | METAL POST |
| CP | CONCRETE POST |
| PM | PARKING METER |
| S | SIGN POST |
| TMA | TRAFFIC MAST ARM |
| TRSIG | TRAFFIC SIGNAL |
| PED | PEDESTRIAN SIGNAL |
| 12" | DECIDUOUS TREE WITH TRUNK DIAMETER |
| 12" | CONIFEROUS TREE WITH TRUNK DIAMETER |
| | HANDICAP PARKING |
| 60143 | SPOT ELEVATION |
| CLF | CHAIN LINK FENCE |
| BB | BITUMINOUS CONCRETE BERM |
| SGC | SLOPED GRANITE CURB |
| VGC | VERTICAL GRANITE CURB |
| VCC | VERTICAL CONCRETE CURB |
| WCR | WHEELCHAIR RAMP |
| LST | LANDSCAPE TIMBER |
| R= | RIM ELEVATION EQUALS |
| I= | INVERT ELEVATION EQUALS |
| THW | TOP OF HOOD ELEVATION |
| NPV | NO PIPES VISIBLE |
| TOW | TOP OF WATER |
| TCB | TRAFFIC CONTROL BOX |
| ULD | UNDERGROUND LOOP DETECTOR |
| DWP | DETECTABLE WARNING PANEL |
| 60143TW | TOP OF WALL ELEVATION |
| CATV | UNDERGROUND CABLE TV LINE |
| D | UNDERGROUND DRAIN LINE |
| E | UNDERGROUND ELECTRIC LINE |
| G | UNDERGROUND GAS LINE |
| S | UNDERGROUND SEWER LINE |
| T | UNDERGROUND TELEPHONE LINE |
| W | UNDERGROUND WATER LINE |
| OHW | OVERHEAD WIRES |
| | MONITORING WELL |
| | BENCH MARK |

## GRAPHIC SCALE

20 10 0 20 40 60

SCALE: 1"=20'

## UTILITY INFORMATION STATEMENT

1. THE SUB-SURFACE UTILITY INFORMATION SHOWN HEREON IS COMPILED BASED ON FIELD SURVEY INFORMATION, RECORD INFORMATION AS SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES, AND PLAN INFORMATION SUPPLIED BY THE CLIENT, IF ANY; THEREFORE WE CANNOT GUARANTEE THE ACCURACY OF SAID COMPILED SUB-SURFACE INFORMATION TO ANY CERTAIN DEGREE OF STATED TOLERANCE. ONLY PHYSICALLY LOCATED SUB-SURFACE UTILITY FEATURES FALL WITHIN NORMAL STANDARD OF CARE ACCURACIES.

2. THE LOCATIONS OF UNDERGROUND PIPES, CONDUITS, AND STRUCTURES HAVE BEEN DETERMINED FROM SAID INFORMATION, AND ARE APPROXIMATE ONLY. COMPILED LOCATIONS OF ANY UNDERGROUND STRUCTURES, NOT VISIBLY OBSERVED AND LOCATED, CAN VARY FROM THEIR ACTUAL LOCATIONS.

3. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.

4. THE STATUS OF UTILITIES, WHETHER ACTIVE, ABANDONED, OR REMOVED, IS AN UNKNOWN CONDITION AS FAR AS OUR COMPILATION OF THIS INFORMATION.

5. IT IS INCUMBENT UPON INDIVIDUALS USING THIS INFORMATION TO UNDERSTAND THAT COMPILING UTILITY INFORMATION IS NOT EXACT, AND IS SUBJECT TO CHANGE BASED UPON VARYING PLAN INFORMATION RECEIVED AND ACTUAL LOCATIONS.

6. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES IS SUBJECT TO FIELD CONDITIONS, THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS AND OTHER MATTERS.

7. THE PROPER UTILITY ENGINEERING/COMPANY SHOULD BE CONSULTED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHOULD BE VERIFIED IN THE FIELD (V.I.F.) BEFORE PLANNING FUTURE CONNECTIONS: CONTACT THE DIG SAFE CALL CENTER AT 1-888-344-7233, SEVENTY-TWO HOURS PRIOR TO EXCAVATION, BLASTING, GRADING, AND/OR PAVING.

8. AS OF THE DATE OF THIS PLAN RECORD INFORMATION HAS NOT BEEN RECEIVED BY NITSCH ENGINEERING FOR THE FOLLOWING UTILITIES:VERIZON AND EVERSOURCE

9. SANITARY AND COMBINED GRAVITY SYSTEMS FLOW LINE WERE NOT MEASURED DOWN DUE TO HEALTH AND SAFETY REASONS RELATED TO COVID-19 PANDEMIC.

## NOTES

1. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF NITSCH ENGINEERING. IT IS ISSUED TO LAVALLEE BRENSINGER ARCHITECTS FOR PURPOSES RELATED DIRECTLY AND SOLELY TO NITSCH ENGINEERING'S SCOPE OF SERVICES UNDER CONTRACT WITH LAVALLEE BRENSINGER ARCHITECTS FOR STANLEY ELEMENTARY SCHOOL IN SWAMPSCOTT, MA. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT AND PROJECT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN AUTHORIZATION IS GIVEN THEREFOR BY NITSCH ENGINEERING.

2. THE PURPOSE OF THIS PLAN IS TO SHOW AN EXISTING CONDITION SURVEY AS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY WHICH OCCURRED BETWEEN 03/03/2021 TO 03/11/2021.

3. HORIZONTAL COORDINATES REFER TO MASSACHUSETTS STATE PLANE (NAD83) MAINLAND ZONE, U.S. SURVEY FEET BASED ON RTK GPS OBSERVATIONS.

4. ELEVATION REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON RTK GPS OBSERVATIONS.

5. THE INFORMATION CONTAINED ON THE DISK OR ELECTRONIC DRAWING FILE ACCOMPANYING THIS PLAN MUST BE COMPARED TO THE SEALED AND SIGNED HARD COPY OF THE PLAN TO ENSURE THE ACCURACY OF ALL INFORMATION AND TO ENSURE NO CHANGES, ALTERATIONS, OR MODIFICATIONS HAVE BEEN MADE. RELIANCE SHALL NOT BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SEALED DOCUMENT ISSUED AT THE TIME OF THE SURVEY DUE TO THE CRITICAL NATURE OF SURVEYING, DATA ACQUISITION, AND AUTOCAD PLAN DEVELOPMENT, IF CRITICAL DIMENSIONAL INFORMATION IS NEEDED AND IS NOT SPECIFICALLY SHOWN ON THE ELECTRONIC DRAWING FILE, PLEASE CONTACT NITSCH ENGINEERING.

6. THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X UNSHADED", AS GRAPHICALLY SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 25009C0532G, EFFECTIVE DATE: 07/16/2014 FOR THE COUNTY OF ESSEX, MASSACHUSETTS.

7. THE STREETS WERE DETERMINED WITH LIMITED MONUMENTATION.

COMMONWEALTH OF MASSACHUSETTS DENIS R. SEGUIN #37058 PROFESSIONAL LAND SURVEYOR

Denis Seguin 4/22/21

DENIS R. SEGUIN, PLS — DATE
MASSACHUSETTS REG. No. 37058
REGISTERED PROFESSIONAL LAND SURVEYOR


Nitsch Engineering

www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472


- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS

| | |
|---|---|
| PROJECT # | 13858.1 |
| FILE: | 13858.1_TOPO1.dwg |
| SCALE: | 1"=20' |
| DATE: | 5/05/2021 |
| PROJECT MANAGER: | DRS |
| FIELD BOOK: | 805 |
| DRAFTED BY: | IOS |
| CHECKED BY: | |

| REV. | COMMENTS | DATE |
|---|---|---|
| A | ROAD NAME CORRECTION AND NORTH ARROW ORIENTATION | 04/22/2021 |

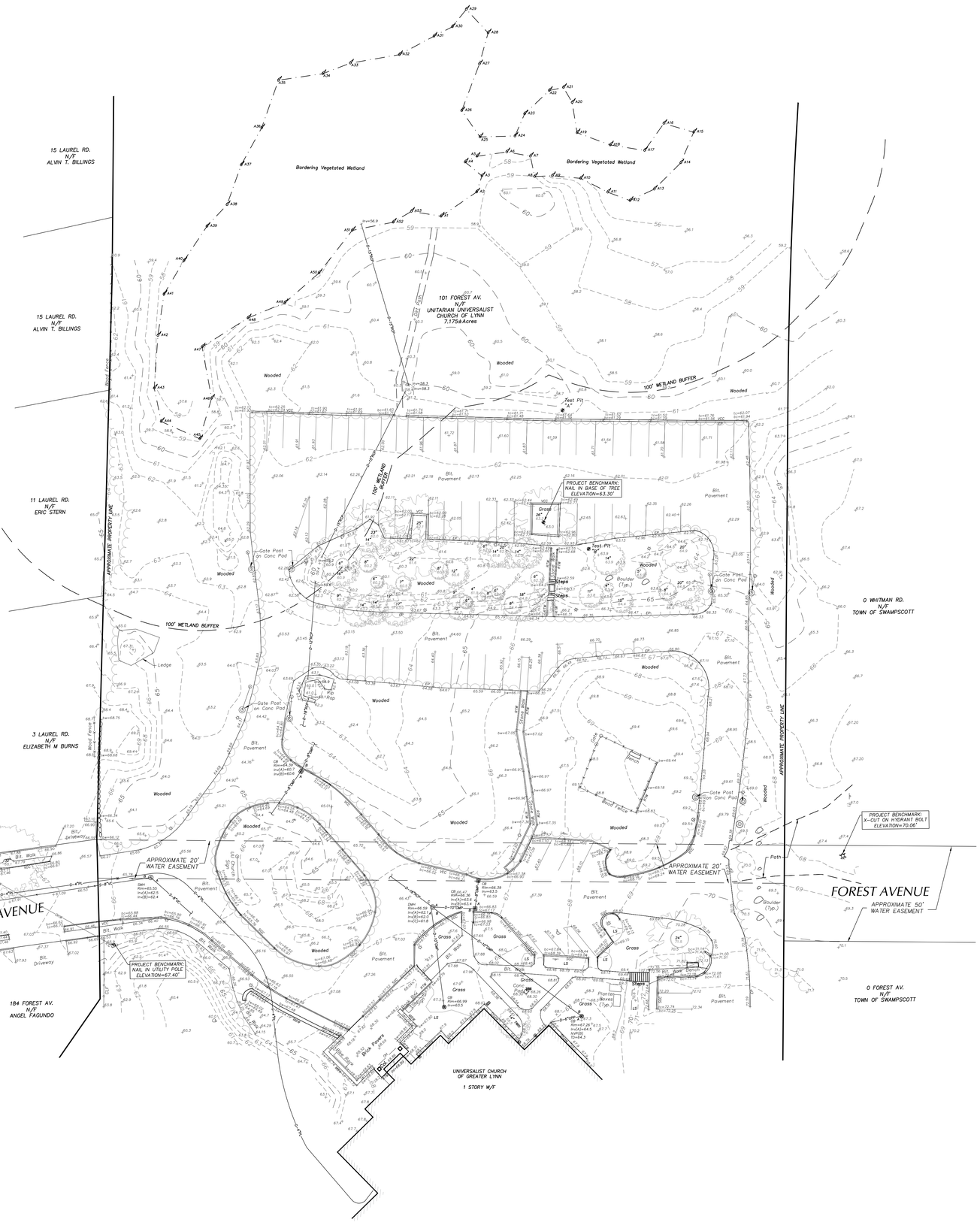
REVISIONS

EXISTING CONDITIONS SURVEY
STANLEY ELEMENTARY SCHOOL
WHITMAN ROAD, SWAMPSCOTT, MA

PREPARED FOR:
LAVALLEE BRENSINGER ARCHITECTS
15 DOW STREET, SUITE 400, MANCHESTER, NH 03101

SHEET: 1
EX-1
OF 1 REV. A

LOCUS MAP
not to scale




## LEGEND

| | |
|---|---|
| | STONE WALL |
| | EDGE OF WOODED AREA |
| | CATCHBASIN |
| | DRAIN MANHOLE |
| | ROOF DRAIN |
| | SEWER MANHOLE |
| | HYDRANT |
| | WATER GATE |
| | WATER SERVICE |
| | IRRIGATION CONTROL VALVE |
| | GAS GATE |
| | GUY WIRE |
| | UTILITY POLE |
| | POST |
| | LIGHT POLE |
| | UNKNOWN MANHOLE |
| | SIGN |
| | TEST PIT |
| | CONIFEROUS TREE |
| | FLAGPOLE |
| | HANDICAP PARKING SPACE |
| —G— | GAS LINE |
| —D— | DRAIN LINE |
| —S— | SEWER LINE |
| —OHW— | OVERHEAD WIRE |
| —60— | INDEX CONTOUR |
| —59— | INTERMEDIATE CONTOUR |
| +58.7 | SPOT GRADE |
| tc= | TOP OF CURB ELEVATION |
| bc= | BOTTOM OF CURB ELEVATION |
| tw= | TOP OF WALL ELEVATION |
| bw= | BOTTOM OF WALL ELEVATION |
| ds= | DOOR SILL ELEVATION |
| Col. | COLUMN |
| EP | EDGE OF PAVEMENT |
| OH | OVERHANG |
| LS | LANDSCAPING |
| VCC | VERTICAL CONCRETE CURB |
| SGC | SLOPED GRANITE CURB |
| VGC | VERTICAL GRANITE CURB |
| MBW | MASONRY BLOCK WALL |
| RTW | RAILROAD TIE WALL |
| Bit | BITUMINOUS |
| INV | INVERT |
| TD | TOP OF DEBRIS |
| NVP | NO VISIBLE PIPE |
| CLF | CHAIN LINK FENCE |

20 0 10 20 40

1 inch = 20 ft.

samiotes

Samiotes Consultants Inc.
Civil Engineers • Land Surveyors

20 A Street
Framingham, MA 01701

508.877.6688
508.877.8349

www.samiotes.com

NOTES:

1. THE PROJECT SOURCE BENCHMARKS ARE AN "X-CUT ON HYD BOLT" AND A "SPIKE IN UP" SHOWN ON A PLAN ENTITLED "EXISTING CONDITIONS SURVEY, STANLEY ELEMENTARY SCHOOL, WHITMAN ROAD, SWAMPSCOTT, MA", PREPARED BY NITSCH ENGINEERING AND DATED APRIL 22, 2021. THE ELEVATIONS OF SAID BENCHMARKS ARE 70.06' AND 56.28' RESPECTIVELY, AND ARE PURPORTED TO BE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
2. THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY PERFORMED FROM DECEMBER 6 THROUGH DECEMBER 23 OF 2021. TOPOGRAPHIC DETAIL SHOWN HEREON IS LIMITED TO A PORTION OF THE SUBJECT PROPERTY.
3. UNDERGROUND UTILITIES ARE BASED UPON AN ACTUAL FIELD SURVEY AND INFORMATION OF RECORD. IT IS NOT WARRANTED THAT THEY ARE EXACTLY LOCATED, NOR THAT ALL UNDERGROUND CONDUITS OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. *CONTACT SAMIOTES CONSULTANTS, INC. PRIOR TO EXCAVATION. THE SWAMPSCOTT DPW DID NOT RESPOND TO A REQUEST FOR UTILITY INFORMATION AS OF THE DATE OF THIS PLAN.
4. THE SUBJECT LAND AS SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, OR OTHER FLOOD AREA AS SHOWN ON FEMA NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 25009C0532G, HAVING AN EFFECTIVE DATE OF JULY 16, 2014.
5. ABUTTERS' NAMES REFER TO CURRENT TOWN OF SWAMPSCOTT ASSESSOR'S RECORDS.
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT SHOW OR REVEAL ANY FACTS THAT WOULD BE DISCLOSED BY ONE.
7. THE LIMIT OF BORDERING VEGETATED WETLAND WAS FIELD DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON DECEMBER 16, 2021.
8. THIS PLAN IS NOT INTENDED TO REPRESENT A BOUNDARY SURVEY. PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE APPROXIMATE ONLY. OTHER EASEMENTS MAY EXIST.

# UNITARIAN UNIVERSALIST CHURCH OF GREATER LYNN

101 FOREST AVENUE, SWAMPSCOTT, MA

SEAL

COMMONWEALTH OF MASSACHUSETTS
DANIEL F. FLEMING
NO. 55476
REGISTERED PROFESSIONAL LAND SURVEYOR

DATE: 1/5/2022

DANIEL F. FLEMING - P.L.S. No. 55476
REGISTERED PROFESSIONAL
LAND SURVEYOR FOR
SAMIOTES CONSULTANTS, INC.

REVISION

## TOPOGRAPHIC PLAN OF LAND

| | |
|---|---|
| JOB # 51112 | T-1 |
| DATE: 1/5/2022 | |
| SCALE: 1"=20' | |
| DRAWN BY: RAG | |
| APPROVED BY: DFF | SHEET 1 OF 1 |
| FILE:51112 UU CHURCH TOPO DRAFT 2022-1-5.DWG | |

©COPYRIGHT SAMIOTES CONSULTANTS, INC.

P:\PROJECTS\2021\51112.00 UU CHURCH, SWAMPSCOTT, MA (DT)\SURVEY\DENT\2022-1-5 TOPO DRAFT\51112 UU CHURCH TOPO DRAFT 2022-1-5.DWG

## DEMOLITION NOTES:

1. SITE PREPARATION AND DEMOLITION SHALL INCLUDE THOSE AREAS WITHIN THE LIMIT OF WORK LINE AS SHOWN ON THE CONTRACT DOCUMENTS.
2. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING DEMOLITION.
4. THE CONTRACTOR SHALL COORDINATE SITE DEMOLITION EFFORTS WITH ALL TRADES THAT MAY BE AFFECTED BY THE WORK.
5. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS REQUIRED TO FACILITATE CONSTRUCTION, AND LEGALLY DISPOSED OF OFFSITE BY CONTRACTOR.
6. UTILITY PIPES DESIGNATED TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT THEIR ENDS WITH WATERTIGHT BRICK MASONRY OR CEMENT MORTAR WITH A MINIMUM THICKNESS OF 8 INCHES.
7. UTILITY PIPES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF THE ENTIRE LENGTH OF PIPE AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
8. UTILITY STRUCTURES DESIGNATED TO BE ABANDONED IN PLACE SHALL HAVE THEIR CAST IRON CASTINGS REMOVED AND DISPOSED, INLET AND OUTLET PIPES PLUGGED, THE BOTTOM OF THE STRUCTURES SHALL BE BROKEN, THE VOID OF THE STRUCTURES SHALL BE BACKFILLED AND COMPACTED TO 95% WITH ORDINARY BORROW OR FLOWABLE FILL, AND THE TOP OF THE STRUCTURE SHALL BE REMOVED SO THAT IT IS AT LEAST 36 INCHES BELOW FINISH GRADE.
9. UTILITY STRUCTURES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE REMOVAL AND DISPOSAL OF CAST IRON CASTINGS, PLUGGING OF INLET AND OUTLET PIPES, REMOVAL OF THE STRUCTURE, AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN HE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
10. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFFSITE.
11. AT ALL LOCATIONS WHERE EXISTING CURBING, CONCRETE PAVEMENT OR BITUMINOUS CONCRETE ROADWAY ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
12. EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, EROSION CONTROL, TREE PROTECTION, AND SITE WORK AS REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRIS FOUND THEREON. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL LEAVE THE SITE IN SAFE, CLEAN, AND LEVEL CONDITION UPON COMPLETION OF THE SITE DEMOLITION WORK.
14. REMOVE AND STOCKPILE ALL EXISTING SITE LIGHTS, BENCHES, TRASH RECEPTACLES, TRAFFIC SIGNS, GRANITE CURB, AND OTHER SITE IMPROVEMENTS WITHIN LIMIT OF WORK LINE UNLESS OTHERWISE NOTED.
15. ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE TIME OF CONSTRUCTION, AS SPECIFIED AND DIRECTED BY THE LANDSCAPE ARCHITECT.
16. BEFORE ANY TREES OR SHRUBS ARE REMOVED, THE CONTRACTOR SHALL ARRANGE A CONFERENCE ON THE SITE WITH THE OWNER OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE REMOVED, AS WELL AS THOSE WHICH ARE TO BE PROTECTED. DO NOT COMMENCE CLEARING OPERATIONS WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
17. THE CONTRACTOR SHALL REMOVE FROM THE AREA OF CONSTRUCTION PAVEMENT, CONCRETE, CURBING, POLES AND FOUNDATIONS, ISLANDS, TREE BERMS AND OTHER FEATURES WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER SPECIFIED ON THE DRAWINGS OR NOT.

## BUILDING LOCATION NOTES:

1. THE BUILDING LOCATION INFORMATION SHOWN ON THIS PLAN PROVIDES THE POSITION AND ORIENTATION OF THE BUILDING. REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING AND FOUNDATION DIMENSIONS, INCLUDING BUILDING OVERHANGS AND AREAWAYS. THE CONTRACTOR SHALL VERIFY BUILDING AND FOUNDATION DIMENSIONS WITH THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO FOUNDATION CONSTRUCTION.
2. THE LOCATION OF THE CORNER AND OUTSIDE FACE OF THE PROPOSED BUILDING FOUNDATION WALL WAS TAKEN FROM AN AUTOCAD FILE RECEIVED FROM LAVALLEE BRENSINGER ARCHITECTS ON JANUARY 6, 2022.
3. THE SURVEYOR PERFORMING BUILDING LAYOUT SHALL BE A LICENSED PROFESSIONAL LAND SURVEYOR OR UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF MASSACHUSETTS WITH EXPERIENCE PREPARING BUILDING LAYOUT CALCULATIONS. THOSE CALCULATIONS SHALL BE PREPARED TO THE STANDARD OF CARE CURRENTLY ESTABLISHED FOR THE SURVEYING PROFESSION IN THE STATE OF MASSACHUSETTS.
4. THE BUILDING LAYOUT SURVEYOR SHALL CONFIRM THE FOLLOWING ITEMS:
   A. THE BUILDING LOCATION CONFORMS TO ZONING SETBACKS;
   B. THE BUILDING LOCATION IS WITHIN THE PROPERTY LINE; AND
   C. THE BUILDING CLOSES ON ITSELF BASED ON THE DIMENSIONS PROVIDED ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
5. THE SURVEYOR PERFORMING BUILDING LAYOUT SHALL PROVIDE A SUBMITTAL TO THE DESIGN TEAM THAT INCLUDES THEIR CALCULATIONS CONFIRMING THE ITEMS LISTED UNDER NOTE #4 ABOVE. THIS SUBMITTAL SHALL BE STAMPED AND SIGNED BY THE LICENSED PROFESSIONAL LAND SURVEYOR WHO PREPARED THE CALCULATIONS.

## EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, AND THE CURRENT NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORESEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING MUNICIPAL AUTHORITIES, AT NO ADDITIONAL EXPENSE TO THE OWNER.
3. AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.
4. SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
5. AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES OF RAINFALL WITHIN 24 HOURS), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGE SHALL BE CORRECTED IMMEDIATELY.
6. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STORM DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS, ABUTTING PROPERTY, OR OUTSIDE OF THE PROJECT LIMITS.
8. THE CONTRACTOR SHALL PROTECT ALL DRAINAGE SWALES AND GROUND SURFACES WITHIN THE LIMIT OF WORK FROM EROSIVE CONDITIONS. STRAW BALE, CRUSHED STONE OR EQUIVALENT CHECK DAMS ARE TO BE PROVIDED AT A MAXIMUM OF TWO HUNDRED (200) FOOT SPACING, OR LESS AS SITE-SPECIFIC CONDITIONS WARRANT, WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.
9. ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEPT AT THE END OF EACH WORKING DAY.
10. ALL SEDIMENT RETAINED BY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEGALLY DISPOSED OF OFFSITE.
11. TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS, AND ANY DENUDED SURFACE THAT WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE STABILIZED/PROTECTED WITH APPROPRIATE EROSION CONTROL MATTING OR OTHER EROSION CONTROL METHODS.
12. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.
13. THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING, OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 DAYS SHALL BE STABILIZED.
14. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION, BUT ONLY WHEN DIRECTED BY THE CITY/TOWN OF XXXX CONSERVATION AGENT. STABILIZE OR SEED BARE AREAS LEFT AFTER EROSION CONTROL REMOVAL.

## EARTH MOVING AND GRADING NOTES:

1. ALL TOPSOIL ENCOUNTERED WITHIN THE WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
2. GRADES WITHIN HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
3. CROSS SLOPES OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 1.5%.
4. RUNNING SLOPE OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 4.5%, UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL EXERCISE CAUTION IN ALL EXCAVATION ACTIVITY DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
6. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1% UNLESS OTHERWISE NOTED.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF BUILDINGS AT ALL LOCATIONS.
8. ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE NOTED. ALL PROPOSED TOP OF CAPE COD BERM ELEVATIONS ARE FOUR INCHES (4") ABOVE BOTTOM OF CURB ELEVATION UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
10. PITCH TOPS OF ALL WALLS AT ONE-EIGHTH INCH (1/8") PER FOOT FROM BACK OF WALL TO FACE OF WALL.
11. SURPLUS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. REFER TO EARTHWORK SPECIFICATIONS.
12. ANY AREAS OUTSIDE OF THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THE PRE-CONSTRUCTION CONDITION/GRADE AT NO COST TO THE OWNER.
13. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.

## GENERAL NOTES:

1. TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM THE PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND", DATED APRIL 27, 2021, REVISED DECEMBER 13, 2021 AND PREPARED BY NITSCH ENGINEERING. THE UU SITE SURVEY TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WAS OBTAINED FROM THE PLAN ENTITLED "UNITARIAN UNITARIAN UNIVERSALIST CHURCH OF GREATER LYNN", DATED JANUARY 5, 2022; PREPARED BY SAMIOTES CONSULTANTS, INC.
2. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
3. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS JACKIE'S LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
5. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND NITSCH ENGINEERING. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL, THROUGHOUT CONSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
8. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
10. THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
11. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.
12. THIS PLAN IS REFERENCED HORIZONTALLY TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM OF 1983 AND VERTICALLY TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 BY RTK GPS OBSERVATIONS TAKEN ON MAY 13, 2020.
13. THE CONTRACTOR SHALL COMPLY WITH THE ORDER OF CONDITIONS DATED XXXX XX, XXXX AND ISSUED BY THE TOWN OF SWAMPSCOTT CONSERVATION COMMISSION (DEP #XXX-XXX).
14. FOR SOIL INFORMATION REFER TO GEOTECHNICAL REPORT.

## UTILITY NOTES:

1. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE LOCAL MUNICIPALITY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS RELATED TO UTILITY WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMISSIONS FOR, AND FOR CONDUCTING ALL PREPARATIONS RELATED TO, WORK AFFECTING ANY UTILITIES WITHIN THE JURISDICTION OF ANY NON-MUNICIPAL UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, AND/OR GAS. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 7 DAYS (OR PER UTILITY COMPANY REQUIREMENT) AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN UTILITIES SERVICING BUILDINGS AND FACILITIES WITHIN OR OUTSIDE THE PROJECT LIMIT UNLESS THE INTERRUPTION OF SERVICE IS COORDINATED WITH THE OWNER.
4. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
5. GAS, TELECOMMUNICATIONS AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS.
6. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES OF NEW UTILITIES WITH GAS, TELECOMMUNICATION AND ELECTRICAL SERVICES.
7. INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET COVER FROM THE FINAL DESIGN GRADES.
8. MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION (WATER OVER SEWER) BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18 INCHES OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN BOTH WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE FOR A DISTANCE OF 10-FEET ON EITHER SIDE OF THE CROSSING. ONE (1) FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER AT THE CROSSING.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED AND/OR REMOVED & DISPOSED.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR GAS UTILITY SYSTEMS.
11. ALL ONSITE UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
12. ALL EXISTING AND PROPOSED MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, CASTINGS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL GRADING AND PAVING CONSTRUCTION.
13. ALL GRATES IN WALKWAYS SHALL BE ADA COMPLIANT.

## PROPOSED LEGEND

- LIMIT OF WORK
- EXISTING UTILITY TO BE ABANDONED, REMOVED AND DISPOSED IF IN CONFLICT WITH NEW SITE IMPROVEMENTS, OR AS INDICATED ON DRAWINGS
- EROSION CONTROL BARRIER
- x — x — CONSTRUCTION FENCE
- W — DOMESTIC WATER PIPE
- FP — FIRE PROTECTION PIPE
- S — SANITARY SEWER PIPE
- D — STORM DRAIN PIPE
- G — GAS PIPE
- E — ELECTRIC DUCTBANK
- T/C — TELECOM DUCTBANK
- CW — CHILLED WATER PIPE
- STM — STEAM PIPE
- CR — CONDENSATE RETURN PIPE
- HW — HOT WATER PIPE/RETURN
- HHW — HEATING HOT WATER
- RW — REUSE WATER PIPE
- GW — GREY WATER PIPE
- X — FUTURE UTILITY, SHOWN FOR INFORMATION ONLY
- INLET PROTECTION
- ELEVATION CONTOURS
- MATCH LINE
- CENTERLINE
- CO● CLEANOUT
- AREA DRAIN
- ACCESS BASIN
- DRAIN MANHOLE
- WATER QUALITY STRUCTURE
- CATCH BASIN
- DOUBLE CATCH BASIN
- WATER QUALITY INLET
- SEWER MANHOLE
- STMH STEAM MANHOLE
- TMH TELECOM MANHOLE
- EMH ELECTRIC MANHOLE
- CWV CHILLED WATER VALVE
- WV WATER VALVE
- HYD FIRE HYDRANT

## ABBREVIATIONS

| | |
|---|---|
| AB | ACCESS BASIN |
| AD | AREA DRAIN |
| BC | BOTTOM OF CURB ELEVATION |
| BW | BOTTOM OF WALL ELEVATION |
| CB | CATCH BASIN |
| CCB | CAPE COD BERM |
| CI | CAST IRON |
| CJ | CONTROL JOINT |
| CL | CENTER LINE |
| CO | CLEANOUT |
| COP | CENTER OF PIPE |
| CP | CARRIER PIPE |
| CPP | CORRUGATED POLYETHYLENE PIPE |
| DCB | DOUBLE CATCH BASIN |
| DI | DUCTILE IRON PIPE CEMENT LINED |
| DMH | DRAIN MANHOLE |
| EHH | ELECTRIC HANDHOLE |
| EJ | EXPANSION JOINT |
| EMH | ELECTRIC MANHOLE |
| FD | FOUNDATION DRAIN |
| FFE | FINISHED FLOOR ELEVATION |
| HP | HIGH POINT |
| HYD | FIRE HYDRANT |
| INV | INVERT ELEVATION |
| LF | LINEAR FEET |
| LOW | LIMIT OF WORK |
| LP | LOW POINT |
| LW | LAB WASTE |
| M&P | MAINTAIN AND PROTECT |
| NIC | NOT IN CONTRACT |
| OC | ON CENTER |
| OCS | OUTLET CONTROL STRUCTURE |
| PD | PERIMETER DRAIN |
| PERF | PERFORATED |
| PVC | POLYVINYL CHLORIDE PIPE |
| R&D | REMOVE AND DISPOSE |
| R&S | REMOVE AND STOCKPILE |
| RD | ROOF DRAIN |
| RIM | RIM ELEVATION |
| SMH | SEWER MANHOLE |
| SS | SEWER SERVICE |
| TC | TOP OF CURB ELEVATION |
| TW | TOP OF WALL ELEVATION |
| THH | TELECOM HANDHOLE |
| TMH | TELECOM MANHOLE |
| TOP | TOP OF PIPE |
| TOD | TOP OF DUCT BANK |
| TYP | TYPICAL |
| UD | UNDERDRAIN |
| USD | UNDERSLAB DRAIN |
| VGC | VERTICAL GRANITE CURB |
| WQI | WATER QUALITY INLET |
| WQS | WATER QUALITY STRUCTURE |
| WV | WATER VALVE |

NITSCH PROJECT NO. 13858


LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
Civil Engineering
Land Surveying
Transportation Engineering
Structural Engineering
Green Infrastructure
Planning
GIS


COMMONWEALTH OF MASSACHUSETTS
DAVID M. CONWAY
CIVIL
No. 49072
Registered Professional Engineer
4/7/22

TOWN OF SWAMPSCOTT

**SWAMPSCOTT ELEMENTARY SCHOOL**

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

N

CONTENT:
C-000 CIVIL NOTES LEGENDS AND ABBREVIATIONS

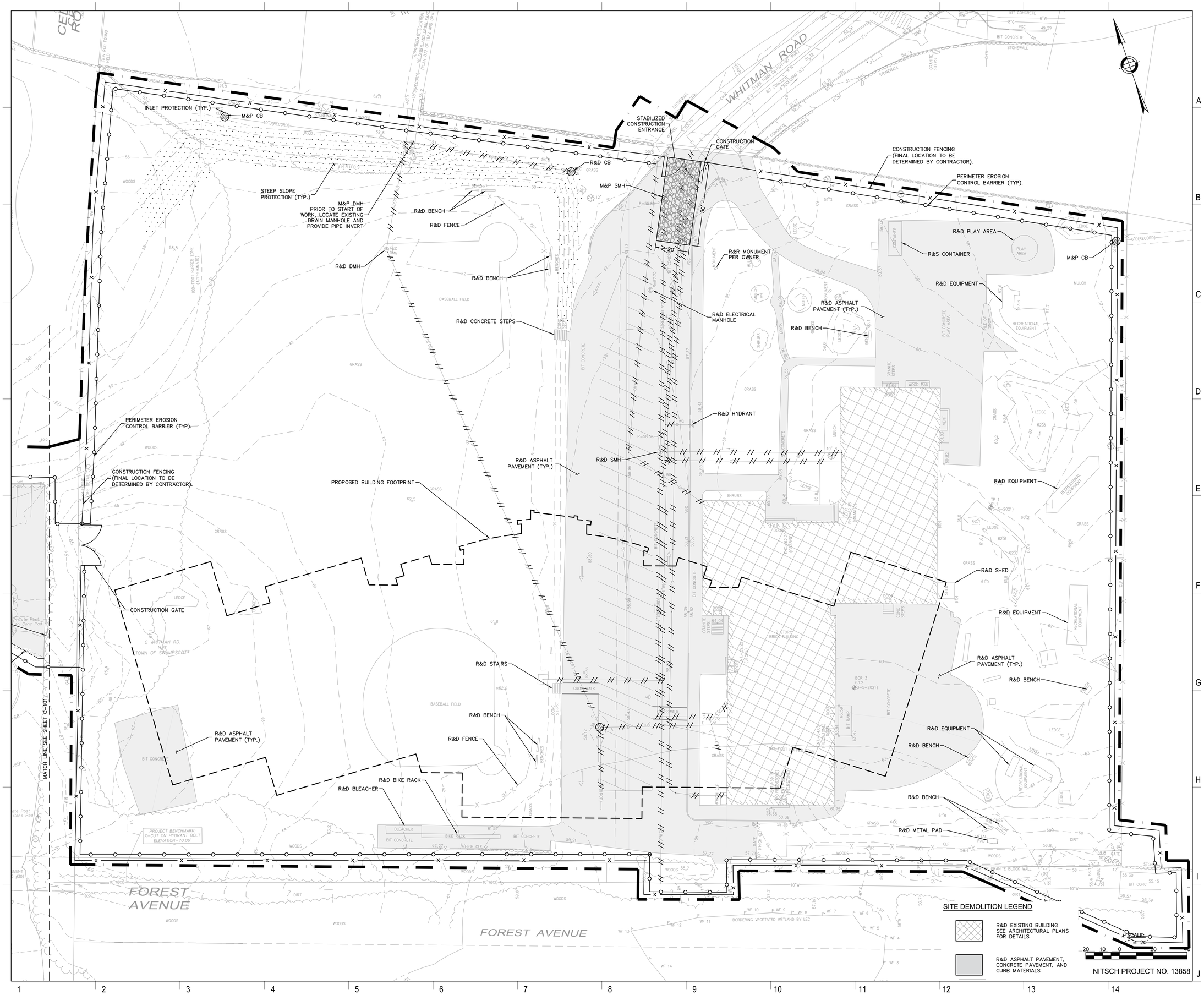
| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-000

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.


FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.




## SITE DEMOLITION LEGEND

- R&D EXISTING BUILDING SEE ARCHITECTURAL PLANS FOR DETAILS
- R&D ASPHALT PAVEMENT, CONCRETE PAVEMENT, AND CURB MATERIALS

SCALE: 1" = 20'

NITSCH PROJECT NO. 13858


LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


COMMONWEALTH OF MASSACHUSETTS DAVID M. CONWAY CIVIL No. 49044 Registered Professional Engineer 4/7/22

TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD, SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

CONTENT: SITE DEMOLITION, EROSION CONTROL & SEDIMENTATION PLAN

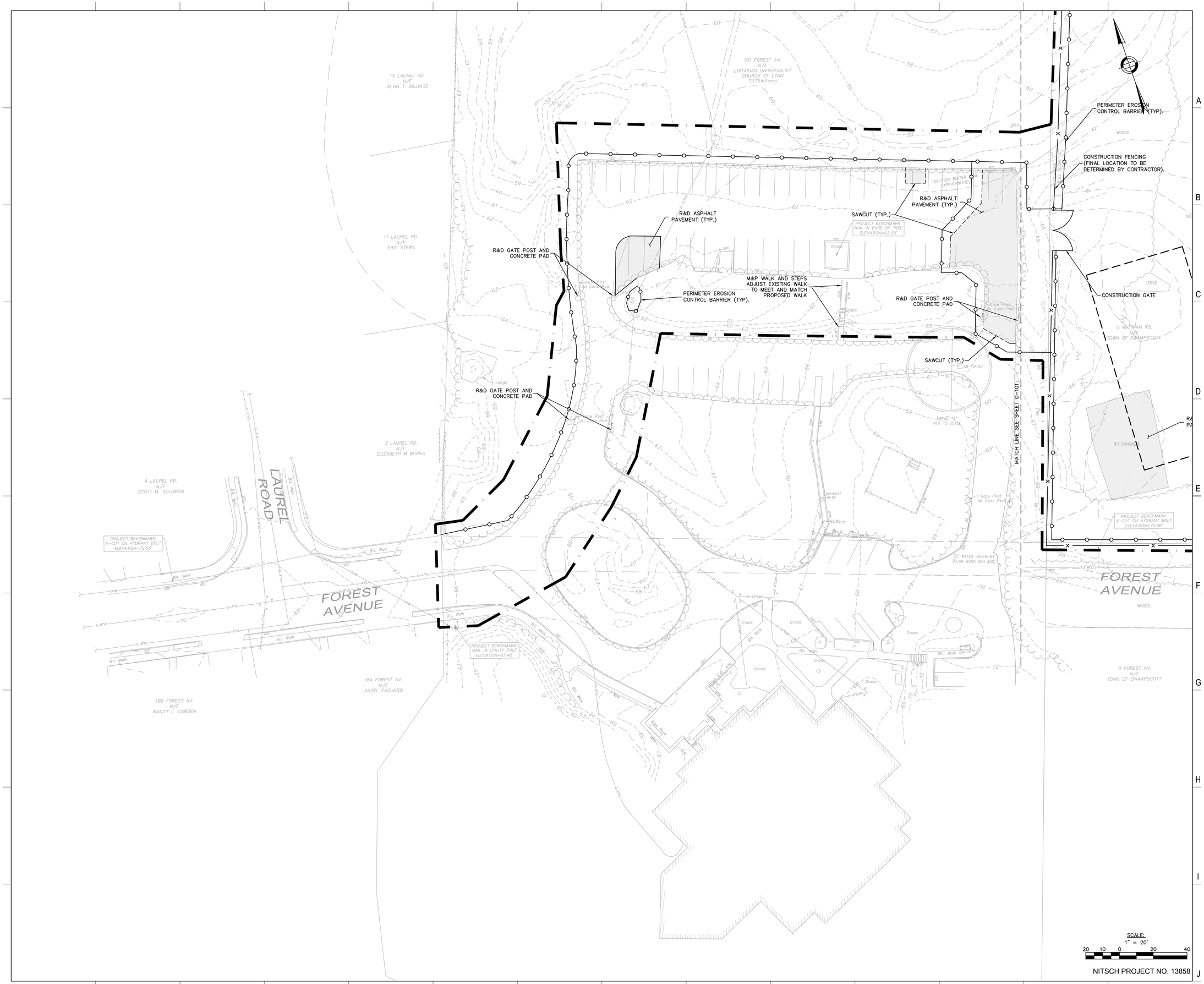
| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-100

Project Phase: EARTH REMOVAL PERMIT APPLICATION

FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC. ALL RIGHTS RESERVED. NO REPRODUCTION WITHOUT PERMISSION.





LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


COMMONWEALTH OF MASSACHUSETTS
DAVID M. CONWAY
CIVIL
No. 49004
Registered Professional Engineer
4/7/22

TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.

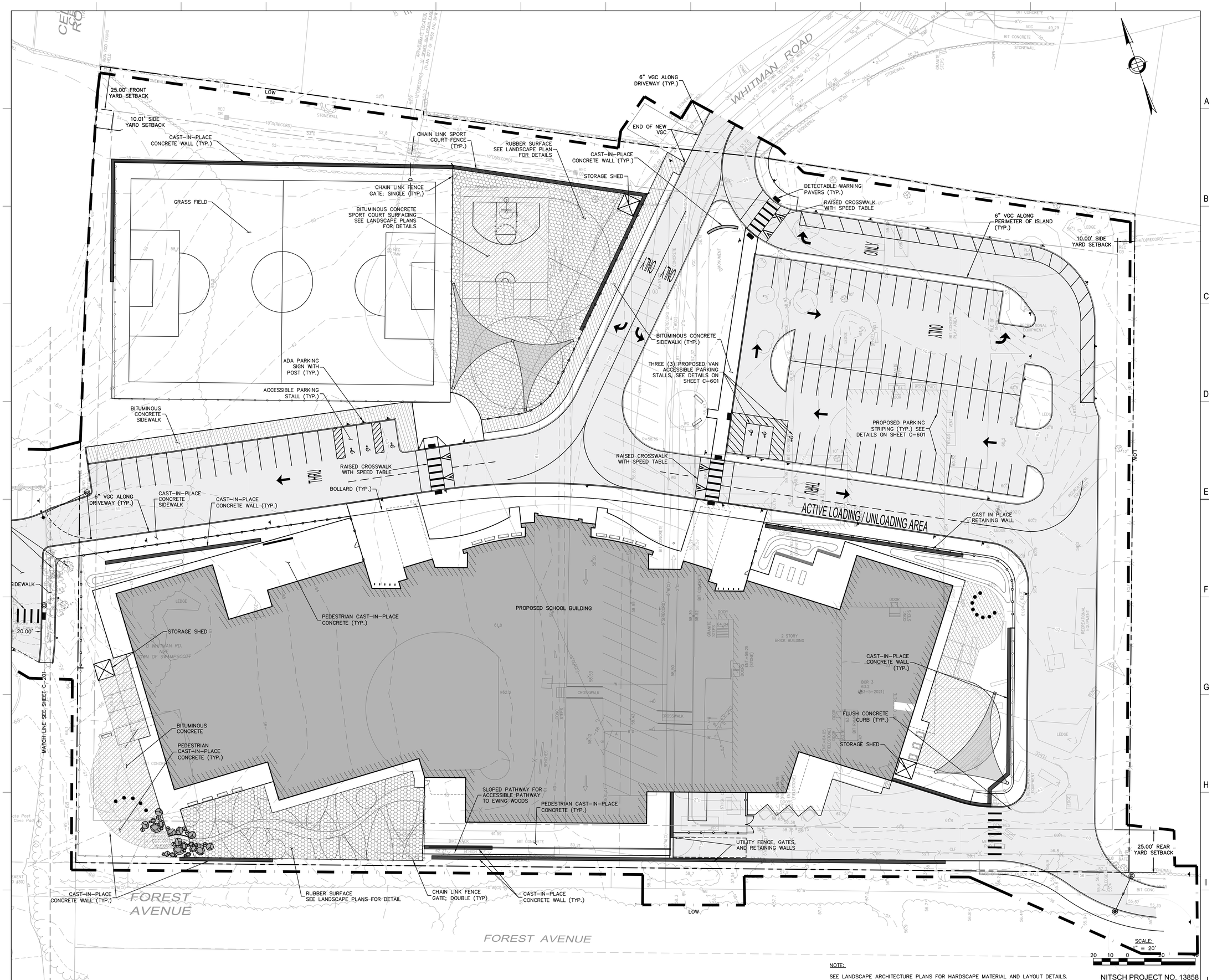
CONTENT:
SITE DEMOLITION, EROSION CONTROL & SEDIMENTATION PLAN

| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-101

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.




NOTE:

SEE LANDSCAPE ARCHITECTURE PLANS FOR HARDSCAPE MATERIAL AND LAYOUT DETAILS.

NITSCH PROJECT NO. 13858


LAVALLEE BRENSINGER ARCHITECTS

Boston | Manchester | Portland

99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering

www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472

- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


DAVID M. CONWAY CIVIL No. 49034 Registered Professional Engineer

TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 2 | PEER REVIEW RESPONSES | 3/23/2022 |

CONTENT:
SITE LAYOUT AND MATERIALS PLAN

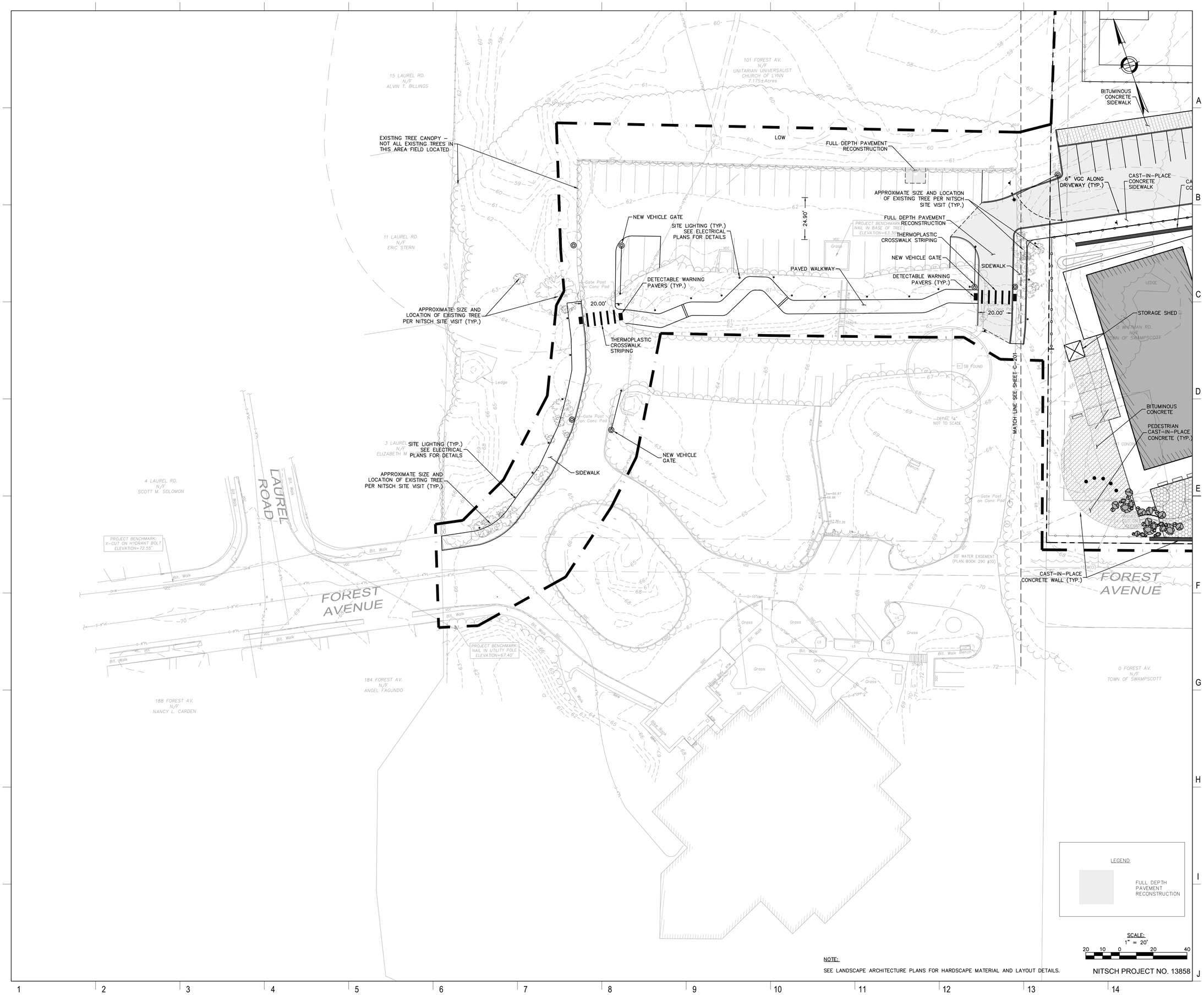
| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-200

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**

FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.




NOTE:

SEE LANDSCAPE ARCHITECTURE PLANS FOR HARDSCAPE MATERIAL AND LAYOUT DETAILS.

NITSCH PROJECT NO. 13858


LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


COMMONWEALTH OF MASSACHUSETTS DAVID M. CONWAY CIVIL No. 49034 Registered Professional Engineer

TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD, SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

CONTENT: SITE LAYOUT AND MATERIALS PLAN

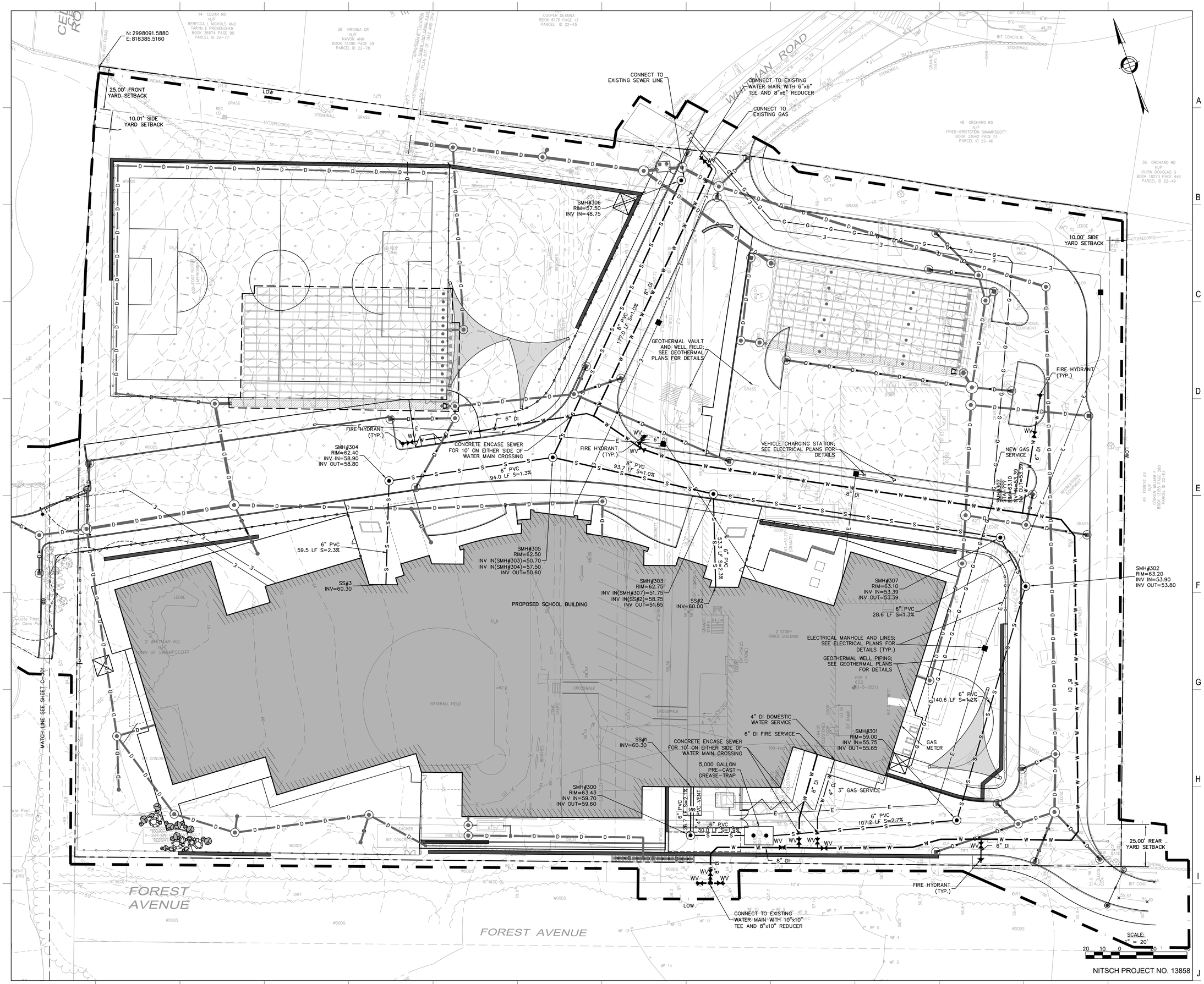
| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-201

Project Phase: EARTH REMOVAL PERMIT APPLICATION


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER P.L.C. ALL RIGHTS RESERVED. NO REPRODUCTION WITHOUT PERMISSION.


FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.





LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|

CONTENT: SITE UTILITY PLAN

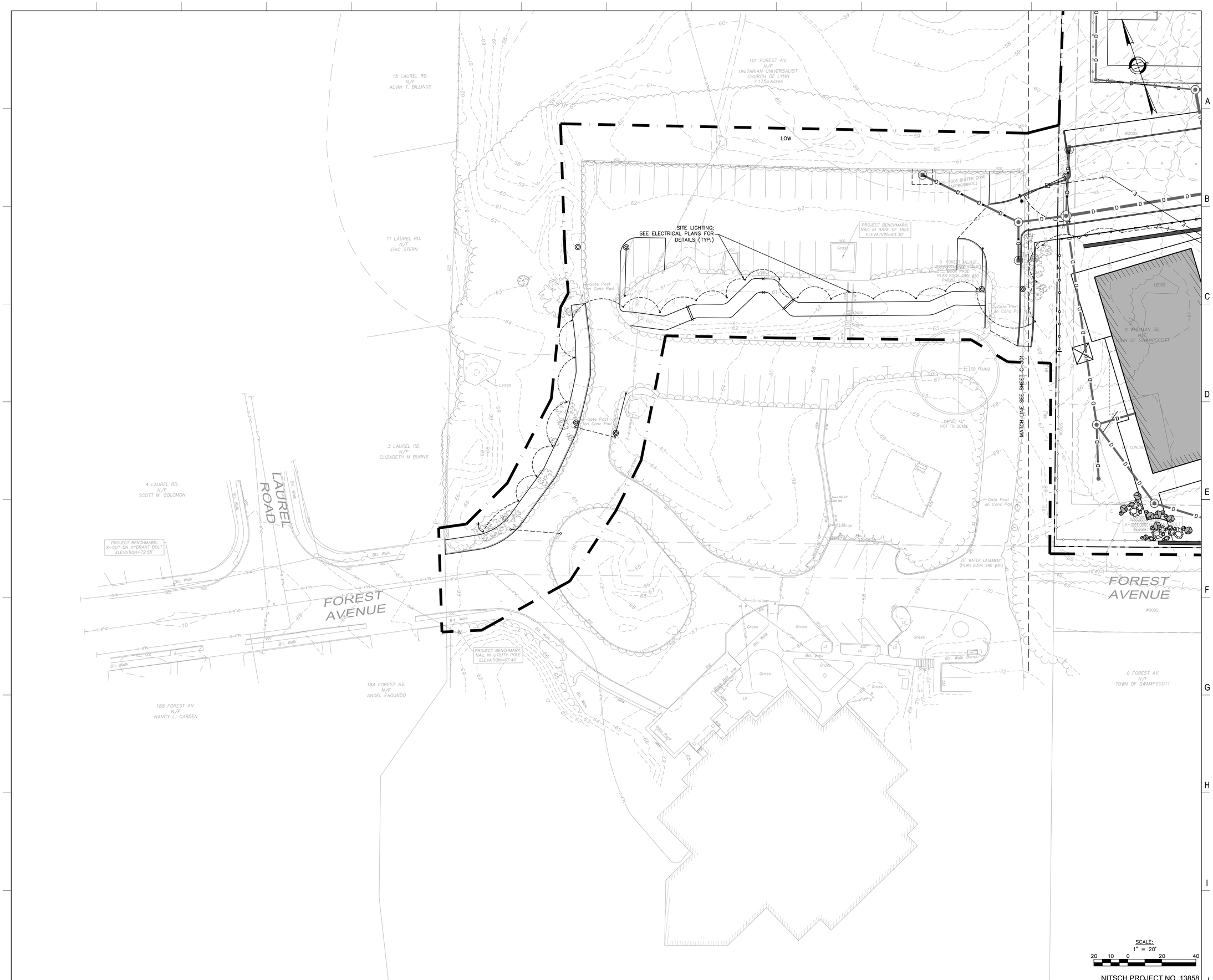
| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-300

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER P.L.C.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.


FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.





LAVALLEE BRENSINGER
ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


COMMONWEALTH OF MASSACHUSETTS
DAVID M. CONWAY
CIVIL
No. 49034
Registered Professional Engineer
4/7/22

TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.

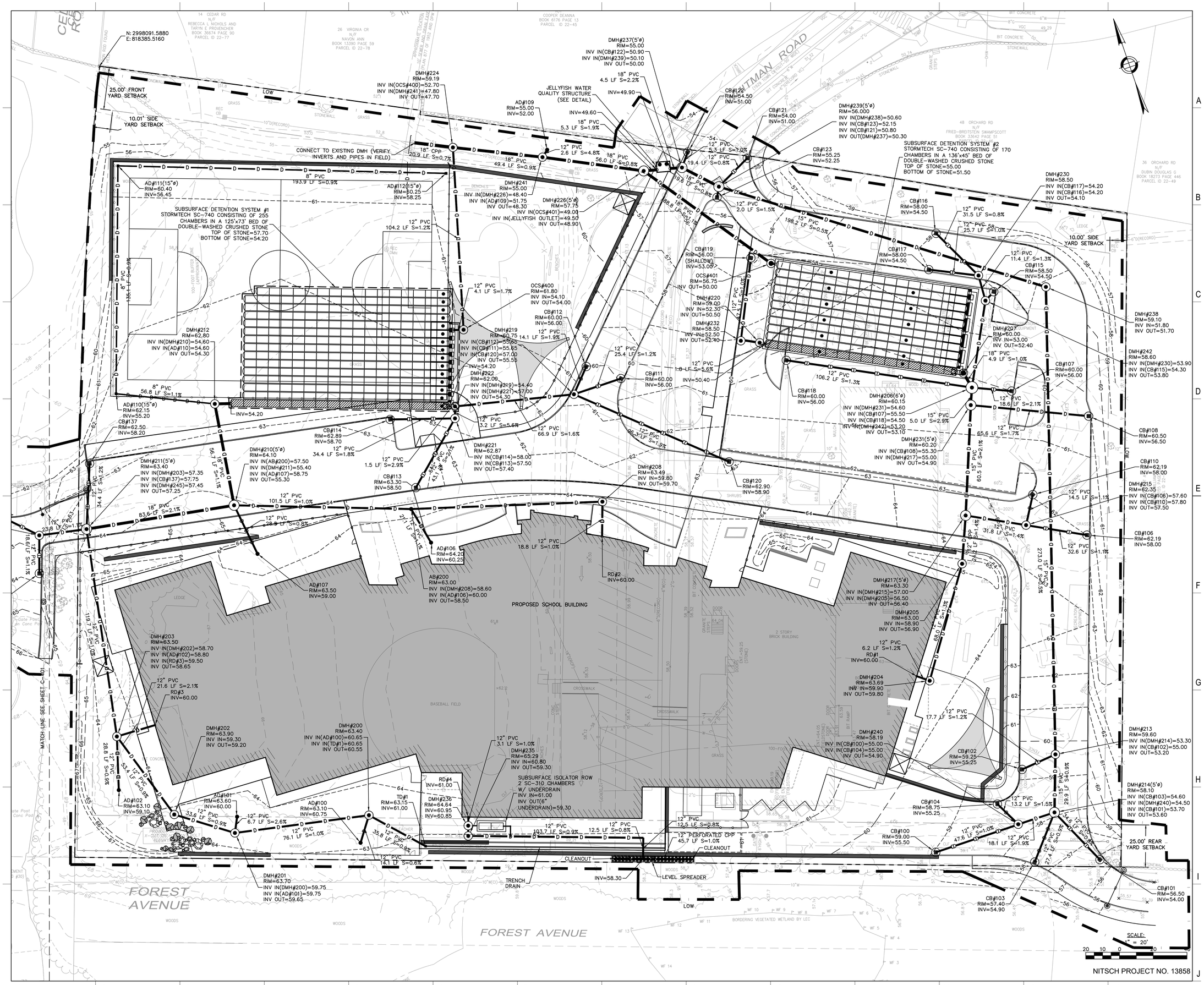
CONTENT:
SITE UTILITY PLAN

| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-301

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.




NITSCH PROJECT NO. 13858


LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


COMMONWEALTH OF MASSACHUSETTS
DAVID M. CONWAY
CIVIL
No. 47042
Registered Professional Engineer
4/7/22

TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 2 | PEER REVIEW RESPONSES | 3/23/2022 |

CONTENT:
SITE DRAINAGE PLAN

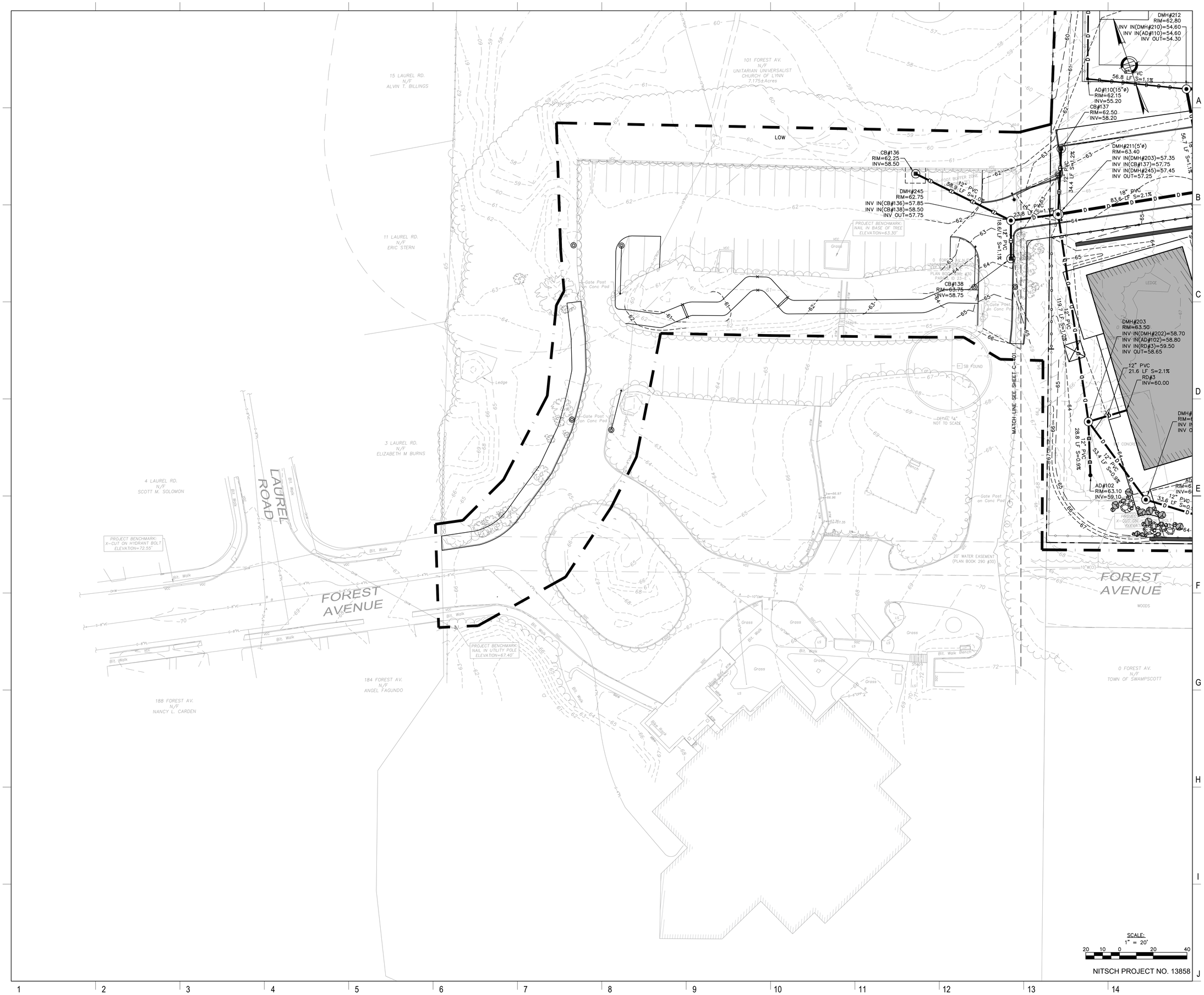
| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-400

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.


FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL





LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


COMMONWEALTH OF MASSACHUSETTS
DAVID M. CONWAY
CIVIL
No. 49073
Registered Professional Engineer

TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.

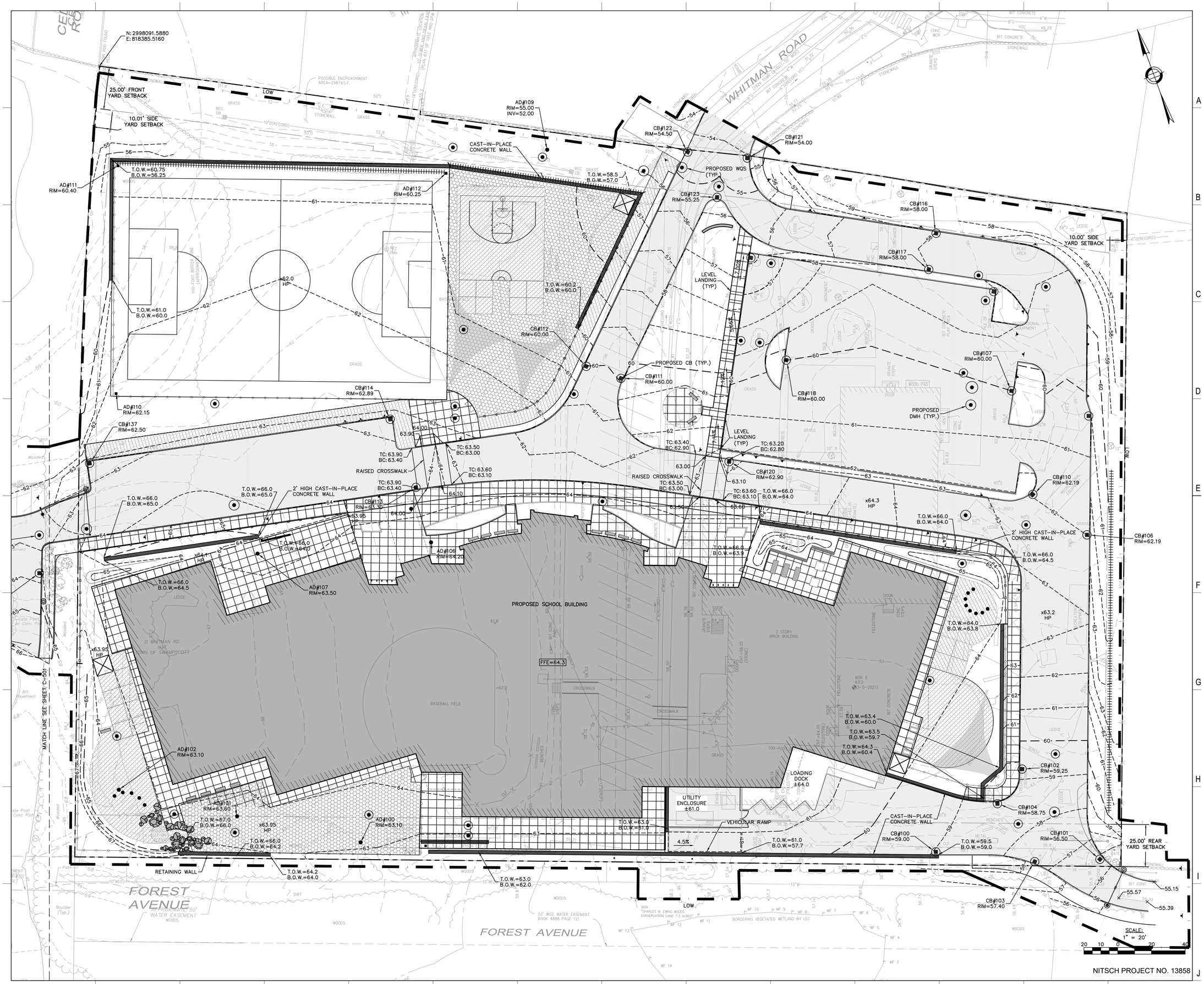
CONTENT:
SITE DRAINAGE PLAN

| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-401

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.





LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

CONTENT: SITE GRADING PLAN

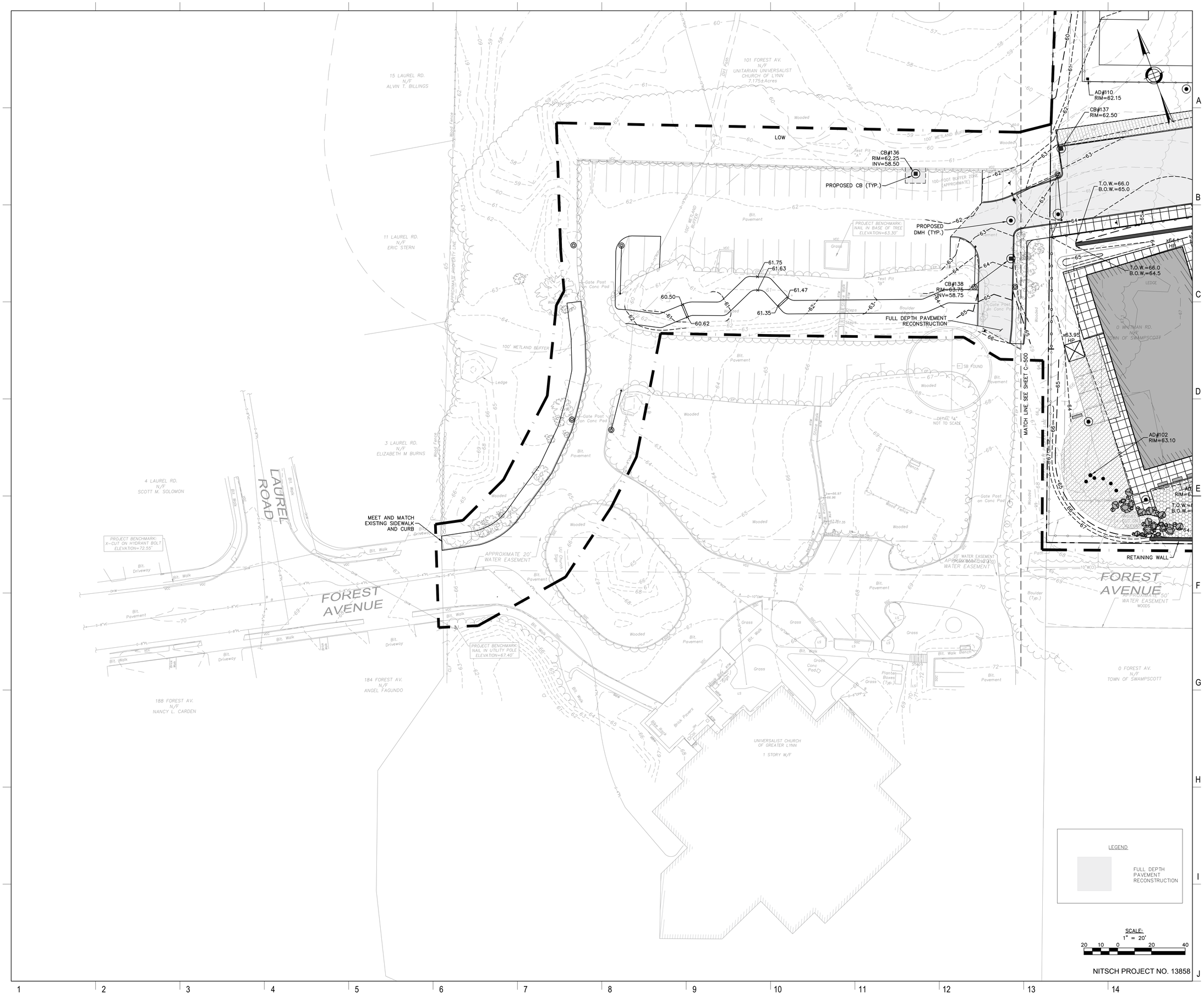
| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-500

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**

COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.

FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL





LAVALLEE
BRENSINGER
ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS


COMMONWEALTH OF MASSACHUSETTS
DAVID M. CONWAY
CIVIL
No. 49004
Registered Professional Engineer
4/7/22

TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

[redacted]

CONTENT:
SITE GRADING PLAN

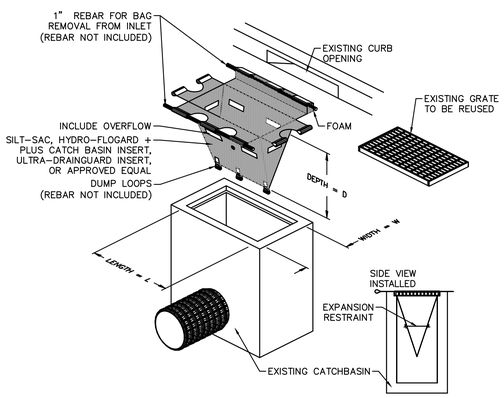
| | |
|---|---|
| DRAWN BY: | Author |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | |

C-501

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER P.L.C.
ALL RIGHTS RESERVED.
NO REPRODUCTION WITHOUT PERMISSION.

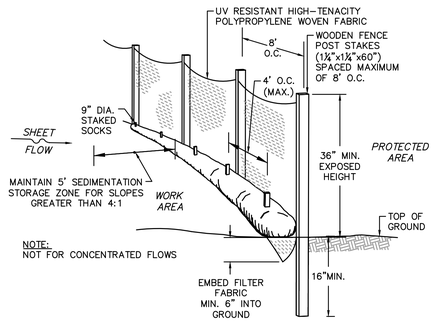

FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.



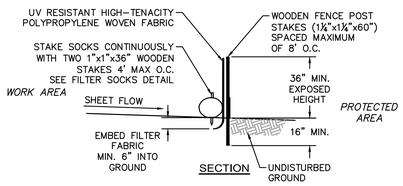

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS SHEET, OVERLAND OR CONCENTRATED FLOWS (NOT GREATER THAN 1 CFS). THE METHOD CAN DRAIN FLAT AREA TO STEEP SLOPES. INLET CAPACITY WILL BE DECREASED WITH THIS METHOD AND THE CONTRACTOR SHALL EXPECT PONDING DURING HIGH FLOW EVENTS.

## INLET PROTECTION DETAIL
## CATCH BASIN WITH SILTATION SACK

NOT TO SCALE

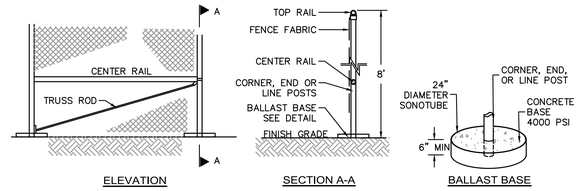



PERSPECTIVE VIEW




## PERIMETER EROSION CONTROL BARRIER SILT FENCE DETAIL WITH WATTLES

NOT TO SCALE

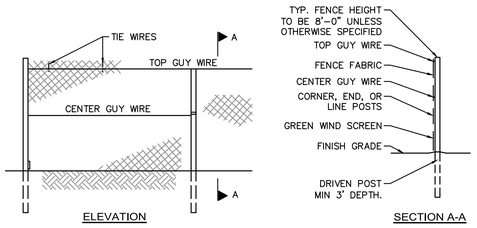



ELEVATION | SECTION A-A | BALLAST BASE

NOTES
1. END, GATE AND CORNER POSTS SHALL BE BRACED TO ADJACENT LINE POSTS. (MORE THAN 30° CHANGE IN DIRECTION CONSTITUTES A CORNER)
2. FABRIC SHALL BE 0.148" GAUGE MIN. WIRE, WOVEN INTO APPROXIMATELY 2" DIAMOND MESH.
3. ZINC-COATED STEEL FABRIC BASE METAL SHALL BE COATED WITH PRIME WESTERN SPELTER OR EQUAL.
4. ALUMINUM COATED STEEL FABRIC BASE METAL SHALL BE COATED WITH ALUMINUM ALLOY.
5. LINE POSTS SHALL BE 2½" O.D. END OR CORNER POSTS SHALL BE 3" O.D.
6. THE CONTRACTOR IS RESPONSIBLE FOR SURFACE RESTORATION ONCE THE FENCE IS REMOVED.
7. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY CONSTRUCTION FENCE AT THE CONCLUSION OF THE PROJECT.

## TEMPORARY CHAIN LINK CONSTRUCTION FENCE WITH BALLAST BASE

NOT TO SCALE

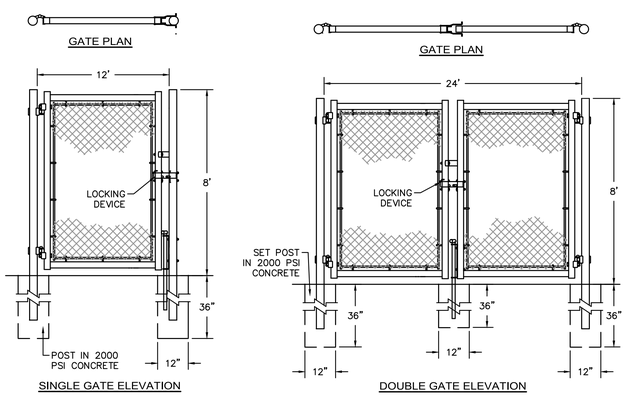



ELEVATION | SECTION A-A

CONSTRUCTION FENCE AND GATE NOTES:
1. FABRIC SHALL BE 0.148" WIRE, WOVEN INTO APPROXIMATELY 2" DIAMOND MESH.
2. THE FENCE FABRIC SHALL BE ZINC COATED STEEL OR ALUMINUM COATED STEEL.
3. FENCE POSTS SHALL RECEIVE THE SAME COATING AND TREATMENT AS THE FENCE FABRIC (DESCRIBED ABOVE).
4. THE CONTRACTOR SHALL ADD A GREEN WIND SCREEN
5. LINE POSTS SHALL BE 2½" O.D. END OR CORNER POSTS SHALL BE 3" O.D.
6. THE CONTRACTOR IS RESPONSIBLE FOR SURFACE RESTORATION ONCE THE FENCE IS REMOVED.
7. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY CONSTRUCTION FENCE AT THE CONCLUSION OF THE PROJECT.

## CHAIN LINK CONSTRUCTION FENCE

NOT TO SCALE



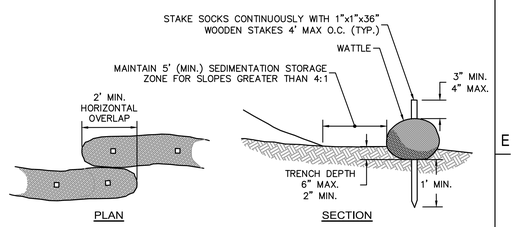

SINGLE GATE ELEVATION | DOUBLE GATE ELEVATION

## 12' WIDE EMERGENCY GATE

NOT TO SCALE

## 24' WIDE DOUBLE GATE

NOT TO SCALE

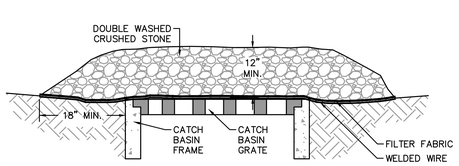



PLAN | SECTION

NOTES:
1. ACCEPTABLE TYPES OF WATTLES ARE PRE-FILLED 12" DIA. COMPOST FILTER SOCK COMPRISED OF MESH MATERIAL AND APPROVED COMPOST MATERIAL (WEED FREE AND WELL-DECOMPOSED ORGANIC MATTER).
2. SOCKS MAY BE USED AS AN EROSION CONTROL BARRIER FOR SLOPES LESS THAN 10:1.

## COMPOST FILTER SOCKS DETAIL

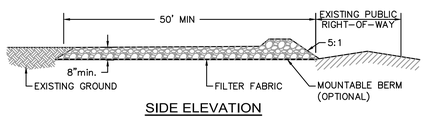
NOT TO SCALE



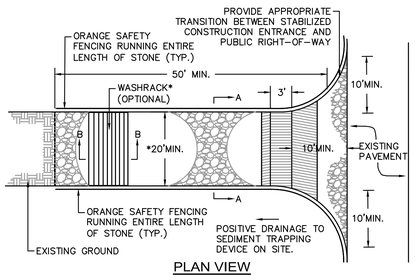

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS. THIS METHOD NOT ACCEPTABLE IN ACTIVE TRAFFIC AREAS.

## INLET PROTECTION DETAIL
## CATCH BASIN WITH GRAVEL

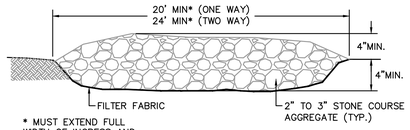
NOT TO SCALE




SIDE ELEVATION

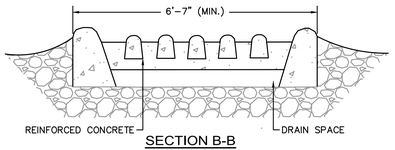



PLAN VIEW




* MUST EXTEND FULL WIDTH OF INGRESS AND EGRESS OPERATION

SECTION A-A

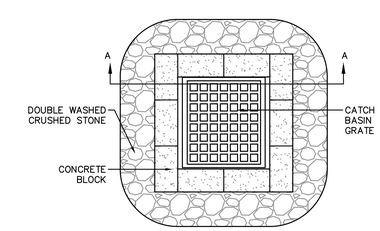



SECTION B-B

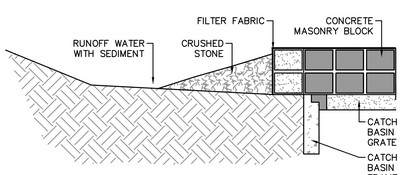
CONSTRUCTION SPECIFICATIONS
1. LENGTH – GREATER THAN OR EQUAL TO 50 FEET
2. WIDTH – TWELVE FOOT MINIMUM (ONE WAY), TWENTY FOOT MINIMUM (TWO WAY), BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
3. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE PERMITTED.
4. THICKNESS – 8"
5. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

## STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE




PLAN

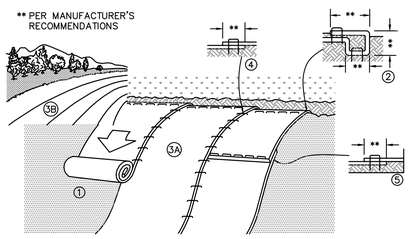



SECTION A-A

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND STRUCTURE.

## INLET PROTECTION DETAIL
## CATCH BASIN W/ BLOCK AND GRAVEL

NOT TO SCALE




SLOPE INSTALLATION

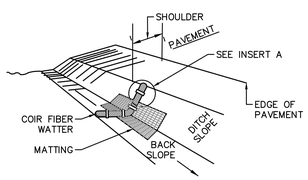
NOTES:
1. PREPARE SOIL BEFORE INSTALLING EROSION CONTROL BLANKETS (ECB's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE ECB's IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING PORTION OF ECB's BACK OVER SEED AND COMPACTED SOIL. SECURE ECB's OVER COMPACTED SOIL WITH A ROW OF STAKES/STAPLES SPACED ACCORDANCE TO THE MANUFACTURER'S RECOMMENDATIONS ACROSS THE WIDTH OF THE ECB's.
3. ROLL THE ECB's DOWN (A) OR HORIZONTALLY (B) ACROSS THE SLOPE. ECB's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL ECB's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAKES/STAPLES IN APPROPRIATE LOCATIONS AS SHOWN ON THE STAKE/STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL ECB's MUST BE STAKED/STAPLED WITH OVERLAP DEPENDING ON ECB's TYPE. SEE THE MANUFACTURER'S RECOMMENDATIONS.
5. CONSECUTIVE ECB's SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN OVERLAP (SEE THE MANUFACTURER'S RECOMMENDATIONS). STAKE/STAPLE THROUGH OVERLAPPED AREA, ACROSS ENTIRE ECB's WIDTH PER MANUFACTURER'S RECOMMENDATIONS.
6. IN LOOSE SOIL CONDITIONS, THE USE OF STAKE OR STAPLE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE ECB's.
7. THE CONTRACTOR SHALL FOLLOW ALL INSTALLATION INSTRUCTIONS AS RECOMMENDED BY THE MANUFACTURER.

## TEMPORARY EROSION CONTROL BLANKET FOR STEEP SLOPES DETAIL

NOT TO SCALE

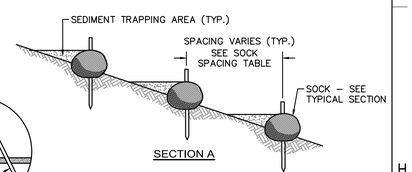
| SOCK SPACING TABLE | |
|---|---|
| SLOPE | MAX. SPACING |
| 1:1 | 10'-0" |
| 2:1 | 20'-0" |
| 3:1 | 30'-0" |
| 4:1 | 40'-0" |

FILTER SOCK SLOPE PROTECTION NOTES:
1. SECURELY KNOT EACH END OF WATTLE. ABUT ADJACENT WATTLES TIGHTLY, END TO END, WITHOUT OVERLAPPING THE ENDS.
2. PILOT HOLES MAY BE DRIVEN THROUGH THE WATTLES AND INTO THE SOIL WHEN SOIL CONDITIONS REQUIRE
3. WATTLES SHALL BE INSPECTED REGULARLY, AND IMMEDIATELY AFTER A RAINFALL PRODUCES RUNOFF, TO ENSURE THEY REMAIN THOROUGHLY ENTRENCHED AND IN CONTACT WITH THE SOIL.
4. ONLY INSTALL WATTLE(S) TO A HEIGHT IN DITCH SO FLOW WILL NOT WASH AROUND WATTLE AND SCOUR DITCH SLOPES AND AS DIRECTED.

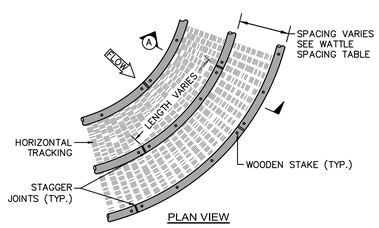



ISOMETRIC VIEW

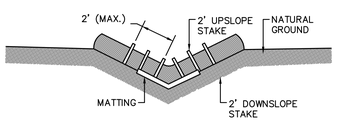
INSERT A



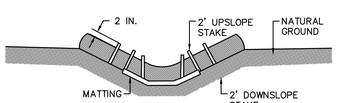

SECTION A




PLAN VIEW




CROSS SECTION - VEE DITCH




CROSS SECTION - TRAPEZOIDAL DITCH

## EROSION CONTROL BARRIER - WATTLES FOR STEEP SLOPES

NOT TO SCALE

NITSCH PROJECT NO. 13858


LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

Nitsch Engineering
www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472
Civil Engineering
Land Surveying
Transportation Engineering
Structural Engineering
Green Infrastructure
Planning
GIS


TOWN OF SWAMPSCOTT

**SWAMPSCOTT ELEMENTARY SCHOOL**

10 WHITMAN ROAD, SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 2 | PEER REVIEW RESPONSES | 3/23/2022 |

CONTENT: SITE EROSION CONTROL & SEDIMENTATION DETAILS

DRAWN BY: Author
PROJECT NO: 19-097-00
DATE: 4/7/2022
REVISED:
SCALE:

C-600

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PLLC. ALL RIGHTS RESERVED. NO REPRODUCTION WITHOUT PERMISSION.


FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.

## KEY DETAIL DESCRIPTION

| KEY | DETAIL | DESCRIPTION |
|---|---|---|
| E1 | DETAIL 1/L4.04 | POURED-IN-PLACE RESILIENT RUBBER PLAY SURFACING |
| E2 | DETAIL 2/L4.04 | FLUSH CONCRETE CURB AT PIP |
| E3 | DETAIL 3/L4.04 | BITUMINOUS CONCRETE SPORT COURT SURFACING |
| E4 | DETAIL 4/L4.04 | LINE STRIPING |
| E5 | DETAIL 5/L4.04 | 10' HIGH; CHAIN LINK SPORT COURT FENCE |
| E6 | DETAIL 6/L4.04 | BASKETBALL HOOP; ADJUSTABLE GOOSE NECK |

## NOTES:

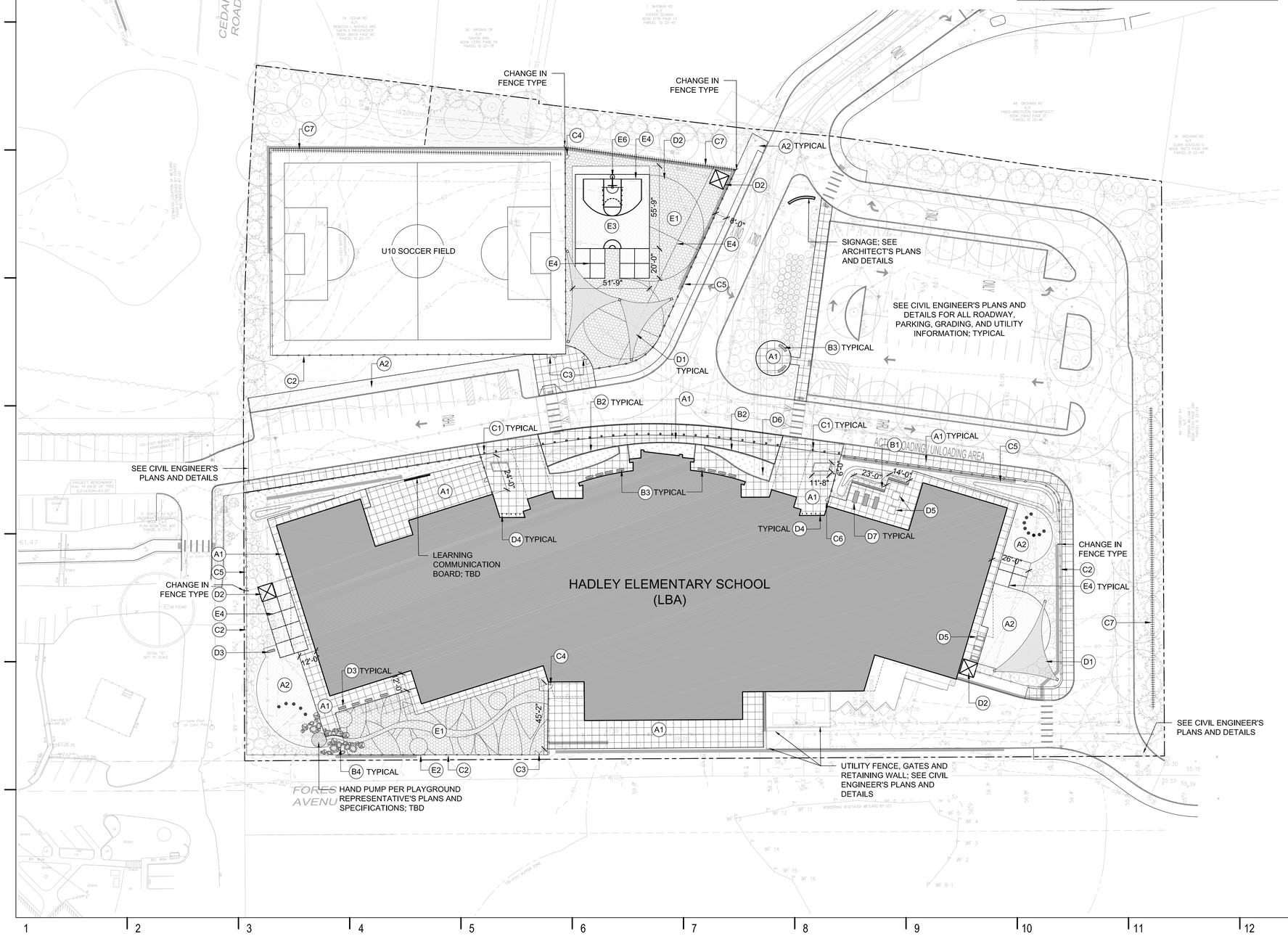
ALL PLAY AND INTERACTIVE EQUIPMENT TO BE DETERMINED DURING CONSTRUCTION DOCUMENT PHASE.

## KEY DETAIL DESCRIPTION

| KEY | DETAIL | DESCRIPTION |
|---|---|---|
| C4 | DETAIL 5/L4.02 | CHAIN LINK FENCE GATE; SINGLE |
| C5 | DETAIL 6/L4.02 | ORNAMENTAL ALUMINUM FENCE; 4'-0" HIGH |
| C6 | DETAIL 7/L4.02 | ORNAMENTAL ALUMINUM GATE; SINGLE |
| C7 | DETAIL 8/L4.02 | 6'-0" HIGH BOARD ON BOARD WOOD FENCE |
| D1 | DETAIL 1/L4.03 | SHADE SAIL; STANCHION EMBEDDED INTO GROUND |
| D2 | DETAIL 2/L4.03 | STORAGE SHED |
| D3 | DETAIL 3/L4.03 | BENCH; 6'-0" LONG; SURFACE MOUNT |
| D4 | DETAIL 4/L4.03 | BICYCLE RACK; EMBEDDED |
| D5 | DETAIL 5/L4.03 | RAISED PLANTER; MOVABLE |
| D6 | DETAIL 6/L4.03 | FLAGPOLE |
| D7 | DETAIL 7/L4.03 | TABLE WITH CHAIRS; MOVABLE |

## KEY DETAIL DESCRIPTION

| KEY | DETAIL | DESCRIPTION |
|---|---|---|
| A1 | DETAIL 1/L4.01 | CAST-IN-PLACE CONCRETE; PEDESTRIAN |
| A2 | DETAIL 2/L4.01 | BITUMINOUS CONCRETE; PEDESTRIAN |
| A3 | DETAIL 3/L4.01 | INTENTIONALLY OMITTED |
| A4 | DETAIL 4/L4.01 | PAVER EDGING; ALUMINUM |
| B1 | DETAIL 6/L4.01 | INTENTIONALLY OMITTED |
| B2 | DETAIL 7/L4.01 | PRE-CAST CONCRETE CURB |
| B3 | DETAIL 8/L4.01 | GRANITE SLAB BENCH |
| B4 | DETAIL 1/L4.02 | ORNAMENTAL BOULDER |
| C1 | DETAIL 2/L4.02 | BOLLARD; VEHICULAR |
| C2 | DETAIL 3/L4.02 | CHAIN LINK FENCE; 4'-0" HIGH |
| C3 | DETAIL 4/L4.02 | CHAIN LINK FENCE GATE; DOUBLE |




## LAYOUT & MATERIALS NOTES:

1. ALL LINE AND GRADE WORK PER THE DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR SURVEYOR ENGAGED BY THE CONTRACTOR.
2. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
3. ALL DIMENSIONS ARE FROM FACE OF BUILDING FOUNDATION, WALL OR CURB UNLESS OTHERWISE NOTED.
4. THE DIMENSIONS SHOWN ON THE DRAWINGS INDICATE DESIGN INTENT AND MUST BE FIELD VERIFIED PRIOR TO THE PREPARATION OF SHOP DRAWINGS. SHOP DRAWINGS FOR ALL PAVING LAYOUT SHALL BE BASED UPON ACTUAL LAYOUT AND FIELD MEASUREMENTS BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL STAKE THE CENTERLINE AND EDGES OF ALL ELEMENTS IN THE FIELD FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING THE WORK.
6. RESTORE EXISTING CONDITIONS, INCLUDING REPAVING, RESETTING SITE IMPROVEMENTS, AND SEEDING, AS NECESSARY IN ARES OF PROPOSED UTILITY IMPROVEMENTS.
7. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING THE LOCATIONS OF ANY EXISTING SITE ELEMENTS TO BE RESET IN THEIR SAME HORIZONTAL LOCATION.

## LEGEND

- PROPERTY LINE | LIMIT OF WORK
- ZONING SETBACK
- 100' BUFFER WETLAND SETBACK
- PROPOSED DECIDUOUS TREE | SHRUB
- PROPOSED EVERGREEN TREE | SHRUB
- PROPOSED CIP CONCRETE WALL
- PROPOSED SLAB BENCH
- PROPOSED FREE-STANDING BENCH
- BICYCLE RACKS
- CUT TIMBER SEAT
- CHAIN LINK FENCE
- BOARD ON BOARD WOOD FENCE
- ORNAMENTAL ALUMINUM FENCE
- CAST-IN-PLACE CONCRETE (PEDESTRIAN)
- PERMEABLE CONCRETE UNIT PAVERS
- BITUMINOUS CONCRETE (PEDESTRIAN)
- POURED IN PLACE RESILIENT RUBBER PLAY SURFACING


LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

terraink
landscape architecture+planning
7 Central St. Arlington, MA 02476
telephone: 781.316.1595


MASSACHUSETTS REGISTERED LANDSCAPE ARCHITECT NO. 1405 JOHN CUMMINGS

TOWN OF SWAMPSCOTT

# SWAMPSCOTT ELEMENTARY SCHOOL

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.

CONTENT: LAYOUT AND MATERIALS

| | |
|---|---|
| DRAWN BY: | Terraink |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | 1" = 30'-0" |

L1.01

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE/BRENSINGER PROFESSIONAL ASSOCIATION. ALL RIGHTS RESERVED. NO REPRODUCTION WITHOUT PERMISSION.



3/29/2022 12:35:04 PM C:\Projects\19-097-00_Hadley ES_Building_Central_LV22_dwd.hartwig@lbpa.com.rvt

## IRRIGATION PLAN NOTES:

IRRIGATION SYSTEM TO BE INCLUDED IN BASE BID AS A DESIGN-BUILD ALLOWANCE NUMBER:
1. POINT OF CONNECTION LOCATION TO BE PROVIDED BY CLIENT OR GENERAL CONTRACTOR.
1. THE CONTRACTOR SHALL PROVIDE AN ESTIMATE FOR THE DESIGN AND INSTALLATION OF AN IRRIGATION PLAN AS PART OF THE PRICE PROPOSAL AND, IF AWARDED, THE CONTRACTOR SHALL FURNISH AN IRRIGATION PLAN FOR PRELIMINARY REVIEW OF THE SYSTEM LAYOUT AND ZONES WITH THE OWNER'S REPRESENTATIVE PRIOR TO THE DEVELOPMENT OF THE FINAL IRRIGATION DESIGN AND INSTALLATION.
2. THE CONTRACTOR SHALL COORDINATE ALL IRRIGATION VALVE BOX LOCATIONS AND ELEVATIONS WITH THE IRRIGATION CONSULTANT AND OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
4. VALVE BOXES SHALL NOT BE LOCATED IN HIGH TRAFFIC AREAS, I.E., LAWNS, ADJACENT TO PAVING, OR SIMILAR. IT IS RECOMMENDED THAT VALVE BOXES BE LOCATED IN PLANTING BEDS AS ALLOWED.
5. COORDINATE ALL IRRIGATION, LIGHTING, AND ELECTRICAL WORK, INCLUDING THE PLACEMENT OF APPROPRIATE CONDUIT AND POWER SUPPLY WITH OTHER TRADESPERSONS.
6. CONDUIT SLEEVING IS PROVIDED FOR AS (3) 2" PVC SCHEDULE 40 PIPE SLEEVES UNDER ALL PAVED SURFACES FOR AUDIO/VISUAL, ELECTRICAL AND IRRIGATION SERVICES.
7. TERRAINK DOES NOT PROVIDE SUBMITTAL REVIEW AND ACCEPTANCE OF IRRIGATION PLANS OR SYSTEM COMPONENTS. IF REQUIRED, THESE APPROVAL SERVICES SHOULD BE PROVIDED BY A CERTIFIED IRRIGATION CONSULTANT.

## PERENNIALS | FERNS | GRASSES

| QTY | KEY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | NOTES |
|---|---|---|---|---|---|---|
| 50 | AC | AQUILEGIA CANADENSIS | AMERICAN COLUMBINE | NA | 2 QT.CONT. | 12" O.C. (N) |
| 45 | AF | ATHYRIUM FILIX-FEMINA | LADY FERN | NA | 2 QT. CONT. | 18" O.C. (N) |
| 75 | AN | ASTER NOVAE-ANGLIAE 'PURPLE DOME' | PURPLE DOME NE ASTER | NA | #1 GAL/CONT. | 18" O.C. (N) |
| 50 | AO | ASTER OBLONGIFOLIUS 'OCTOBER SKIES' | OCTOBER SKIES AROMATIC ASTER | NA | #1 GAL/CONT. | 18" O.C. (N) |
| 50 | AT | ASCLEPIAS TUBEROSA | BUTTERFLY WEED | NA | #1 GAL/CONT. | 24" O.C. (N) |
| 100 | RF | RUDBECKIA FULGIDA VAR. 'GOLDSTURM' | GOLDSTURM BLACKEYED SUSAN | NA | #1 GAL. | 24" O.C. (N) |
| 85 | SC | SCHIZACHYRIUM SCOPARIUM 'CAROUSEL' | CAROUSEL LITTLE BLUESTEM | NA | #2 GAL. | 36" O.C. (N) |
| 100 | SZ | SCHIZACHYRIUM 'TWILIGHT ZONE' | TWILIGHT ZONE LITTLE BLUESTEM | NA | #2 GAL. | 30" O.C. (N) |
| 55 | WF | WALDSTEINIA FRAGAROIDES | BARREN STRAWBERRY | NA | 2 QT. CONT. | 24" O.C. (N) |

## TURF

| | | | |
|---|---|---|---|
| 40,640 | SF | TALL FESCUE BLUE MIX LAWN SEED | SUMMIT SEED, ROCKFORD, WA; 800.457.6748 (N) |
| 27,785 | SF | ATHLETIC FIELD SEED MIX | ERNST SEED; MEADVILLE, PA; 800.873.3321 (N) |

O.C. = ON-CENTER SPACING
(N) = NATIVE SPECIES

NOTE: ALL PRICING | DESIGN DEVELOPMENT DOCUMENT PLANT QUANTITIES ARE APPROXIMATE AND WILL BE FURTHER REFINED IN THE CONSTRUCTION DOCUMENTS.

## PLANT SCHEDULE - SHEET L3.01

### SHADE | SCREENING TREES

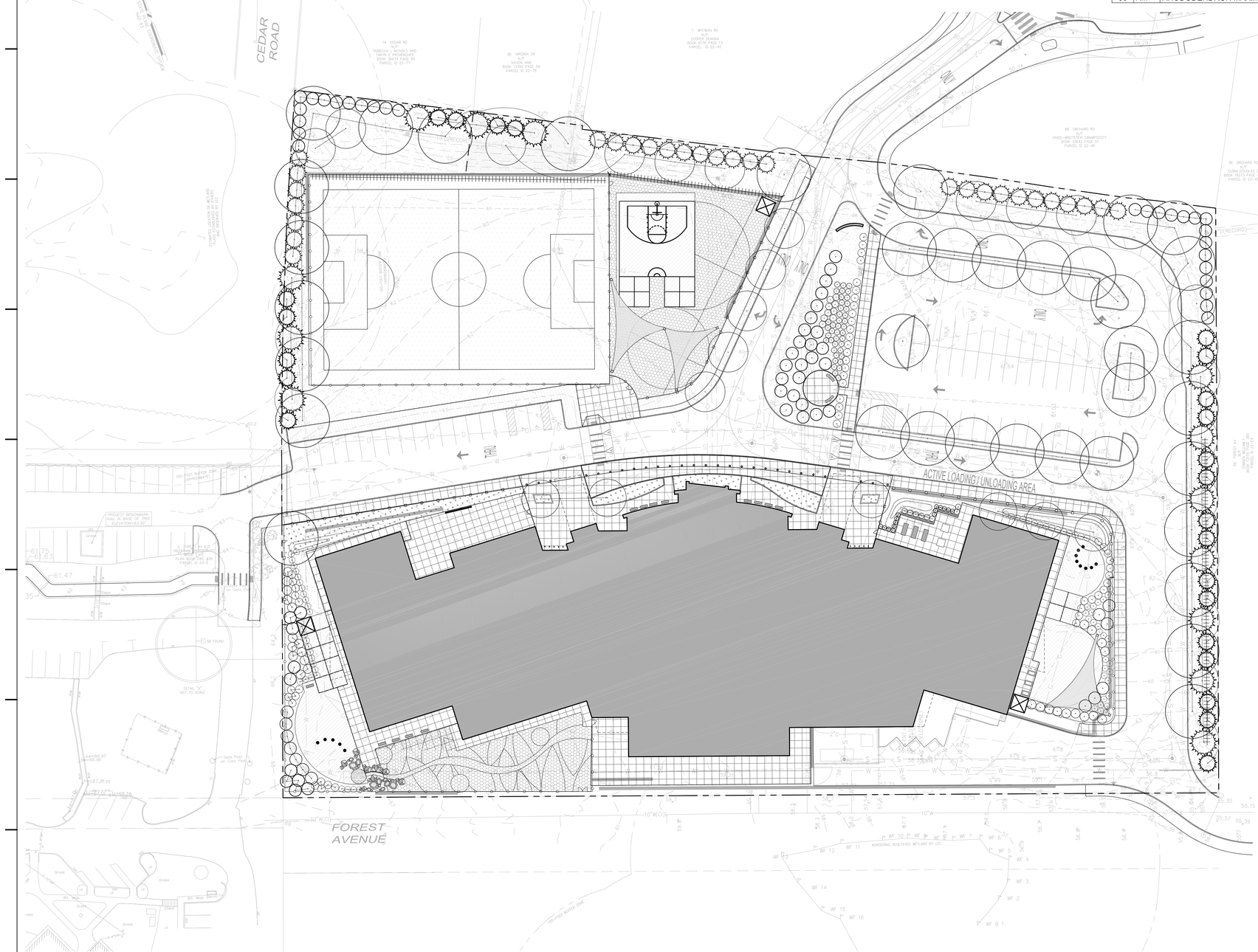
| QTY | KEY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | NOTES |
|---|---|---|---|---|---|---|
| 20 | AR | ACER RUBRUM 'RED SUNSET' | RED SUNSET RED MAPLE | 3"- 3.5" CAL. | BALL & BURLAP | 30' O.C. (N) |
| 10 | BN | BETULA NIGRA 'HERITAGE' | HERITAGE RIVER BIRCH | 14'-16" HT. | B&B | 20' O.C. (N) |
| 19 | GT | GLEDITSIA TRIA. INERMIS 'HALKA' | HALKA HONEYLOCUST | 2.5"- 3" CAL. | B&B | 30' O.C. (N) |
| 26 | JV | JUNIPERUS VIRGINIANA 'EMERALD SENTINEL' | EMERALD SENTINEL RED CEDAR | 6'-7' HT. | B&B | 30' O.C. (N) |
| 1 | LT | LIRIODENDRON TULIPIFERA | TULIPTREE | 3"- 3.5" CAL. | B&B | 30' O.C. (N) |
| 11 | NS | NYSSA SYLVATICA 'FIRESTARTER' | FIRESTARTER BLACK TUPELO | 2.5"- 3" CAL. | B&B | 30' O.C. (N) |
| 13 | PG | PICEA GLAUCA | WHITE SPRUCE | 8'-10' HT. | B&B | 15' O.C. (N) |

### DECIDUOUS SHRUBS

| | | | | | | |
|---|---|---|---|---|---|---|
| 15 | CA | CLETHRA ALINIFOLIA 'HUMMINGBIRD' | HUMMINGBIRD SUMMERSWEET | 24"-30" HT. | #5 CONT. | 4' O.C. (N) |
| 30 | FG | FOTHERGILLA GARDENII | DWARF FOTHERGILLA | 18"-24" HT. | #3 CONT. | 3' O.C. (N) |
| 25 | HQ | HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' | SNOW QUEEN OAKLEAF HYDRANGEA | 24"-30" HT. | #7 CONT. | 4' O.C. (N) |
| 12 | HQP | HYDRANGEA QUERCIFOLIA 'PEE WEE' | PEE WEE OAKLEAF HYDRANGEA | 24"-30" HT. | #5 CONT. | 3' O.C. (N) |
| 40 | HV | HAMAMELIS VIRGINIANA | COMMON WITCHHAZEL | 4'-5' HT. | B&B | 8' O.C. (N) |
| 24 | IVH | ITEA VIRGINICA 'HENRY'S GARNET' | HENRY'S GARNET SWEETSPIRE | 24"-30" HT. | #5 CONT. | 3' O.C. (N) |
| 12 | IVS | ITEA VIRGINICA 'SPIRICH' | LITTLE HENRY SWEETSPIRE | 18"-24" HT. | #3 CONT. | 3' O.C. (N) |
| 30 | IVV | ILEX VERTICILLATA 'RED SPRITE' | RED SPRITE WINTERBERRY | 18-24" HT. | #3 CONT. | 3' O.C. (N) |
| 24 | RA | RHUS AROMATICA 'GRO-LOW' | GRO-LOW FRAGRANT SUMAC | 18"-24" HT. | #3 CONT. | 4' O.C. (N) |
| 12 | VDC | VIBURNUM DENTATUM 'CHRISTOM' | BLUE MUFFIN ARROWWOOD VIBURNUM | 30"-36" HT. | #7 CONT. | 5' O.C. (N) |
| 12 | VPT | VIBURNUM PLT. TOM. 'MARESII' | MARIE'S DOUBLEFILE VIBURNUM | 30"-36" HT. | #7 CONT. | 5' O.C. |

### EVERGREEN SHRUBS

| | | | | | | |
|---|---|---|---|---|---|---|
| 15 | IG | ILEX GLABRA 'COMPACTA' | COMPACT INKBERRY | 24"-30" HT. | #5 CONT. | 4' O.C. (N) |
| 45 | JH | JUNIPERUS HORIZONTALIS 'BAR HARBOR' | BAR HARBOR JUNIPER | 15"-18" SP. | #2 CONT. | 3' O.C. (N) |
| 30 | RM | RHODODENDRON MAXIMUM | ROSEBAY RHODODENDRON | 3'-4' HT. | B&B | 8' O.C. (N) |




## PLANTING PLAN NOTES:

1. ALL PLANTING SOILS SHALL BE (1) PART TOPSOIL, (1) PART COMPOSTED ORGANIC MATTER, (1) PART NATIVE SOIL MIXED PRIOR TO PLANTING INSTALLATION.
2. THE CONTRACTOR SHALL CONFIRM THE ACTUAL DEPTH OF ALL PLANTING AREAS PRIOR TO ANY PLANT MATERIAL BEING SECURED. REPORT ANY LEDGE OR SUBSTANDARD SOIL/SUBSURFACE CONDITIONS TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL CONSIDER THE DISPLACEMENT OF PLANTING SOIL FOR THE PLANT MATERIAL ROOD BALLS IN THE OVERALL PLANTING BED FINISHED GRADE. ALLOW ENOUGH ROOM IN THE PLANTING BED ELEVATION TO SPREAD DISPLACED SOIL AND STILL MEET THE INDICATED FINISHED GRADE INCLUDING THE 2" OF HARDWOOD MULCH.
4. ANY MATERIALS ACCUMULATED OVER THE ROOT FLARE OF A TREE OR SHRUB MUST BE REMOVED COMPLETELY UNTIL THE ROOT FLARE IS EXPOSED AND ALL GIRDLING ROOTS REMOVED PRIOR TO PLANTING.
5. THE CONTRACTOR SHALL LOCATE AND VERIFY WITH THE OWNER'S REPRESENTATIVE ALL TREES, SHRUGS, PERENNIALS, AND/OR GROUNDCOVER TO REMAIN, TO BE REMOVE, OR TO BE TRANSPLANTED. PROTECT IN PLACE ALL EXISTING TREES, SHRUBS, AND GROUNDCOVER TO REMAIN.
6. ALL NEW PLANTING MATERIAL SHALL CONFORM TO MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (AAN). IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY AND THE PLANT HEIGHT SHALL BE MEASURED FROM THE ROOT FLARE, NOT THE BOTTOM OF POT OR BURLAP BALL.
7. STAKE THE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING.
8. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR BETWEEN THE PLANT MATERIALS LIST AND THE DRAWINGS, THE HIGHER NUMBER OF PLANTS SHALL GOVERN. THE CONTRACTOR SHALL REPORT DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
9. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, FRUIT, COLOR, AND CULTURE MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
10. ALL LAWN AREAS DISTURBED BY CONSTRUCTION OPERATIONS INSIDE AND OUTSIDE THE LIMIT OF WORK SHALL BE LOAMED AND SEEDED.

## LEGEND

- PROPERTY LINE | LIMIT OF WORK
- ZONING SETBACK
- 100' BUFFER WETLAND SETBACK
- PROPOSED DECIDUOUS TREE | SHRUB
- PROPOSED EVERGREEN TREE | SHRUB
- TREE TAG
- SHRUB TAG
- PERENNIAL TAG
- ATHLETIC SEED HATCH
- SEED HATCH
- PERENNIAL HATCHES


LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

terrainkink
landscape architecture+planning
7 Central St., Arlington, MA 02476
telephone: 781.316.1595


MASSACHUSETTS REGISTERED LANDSCAPE ARCHITECT NO. 1406 DAVID J. CUMMINGS

TOWN OF SWAMPSCOTT

**SWAMPSCOTT ELEMENTARY SCHOOL**

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.

| | |
|---|---|
| CONTENT: PLANTING | |
| DRAWN BY: | Terrainkink |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | 1" = 30'-0" |

L3.01

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE/BRENSINGER PROFESSIONAL ASSOCIATION. ALL RIGHTS RESERVED. NO REPRODUCTION WITHOUT PERMISSION.



3/29/2022 12:35:04 PM C:\Projects\19-097-00_Hadley ES_Building_Central_V22_david.harris@lbpa.com.rvt

# TRAFFIC MANAGEMENT NOTES

## GENERAL

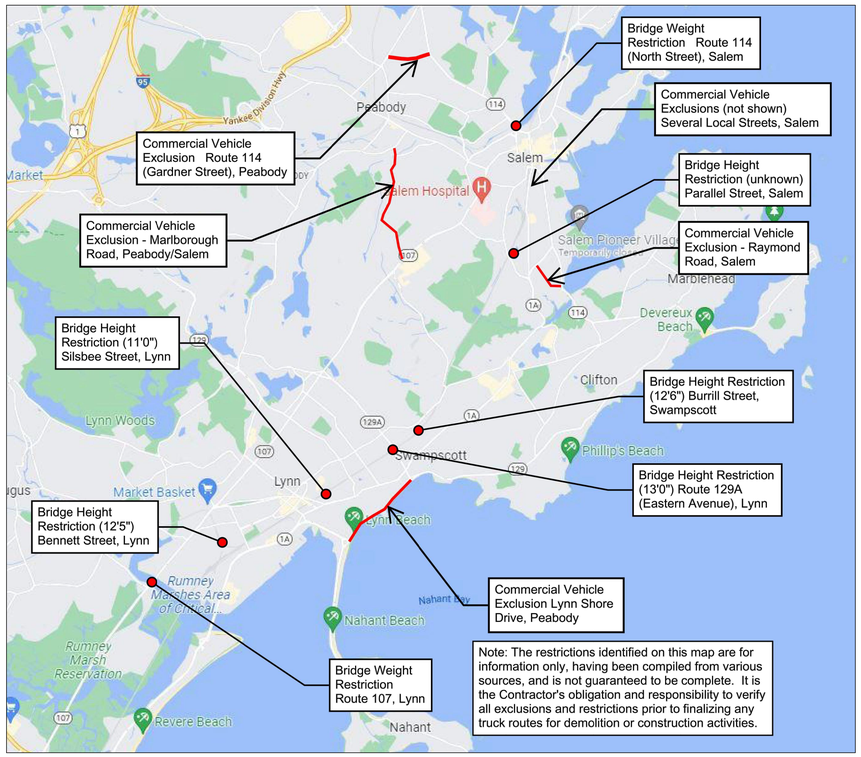
1. ALL TRAFFIC MANAGEMENT AND WORK ZONE TRAFFIC CONTROL MEASURES SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), MASSDOT - HIGHWAY DIVISION'S "STANDARD DETAILS AND DRAWINGS FOR THE DEVELOPMENT OF TRAFFIC MANAGEMENT PLANS", THE STANDARD SPECIFICATIONS, AND THE FOLLOWING NOTES.
2. THE TEMPORARY TRAFFIC CONTROL PLANS CONTAINED HEREIN ARE GIVEN AS A GUIDE FOR TYPICAL WORK ZONE TRAFFIC CONTROL APPLICATIONS FOR THE TYPES OF WORK ANTICIPATED FOR THIS PROJECT. THEY ARE NOT INTENDED TO COVER ALL POSSIBLE CONSTRUCTION OPERATIONS WHICH THE CONTRACTOR MAY CHOOSE TO EMPLOY. WORK ZONE TRAFFIC CONTROL FOR OTHER CONSTRUCTION OPERATIONS OR OTHER TRAFFIC SITUATIONS IF APPLICABLE SHALL BE IN ACCORDANCE WITH THE REFERENCES LISTED IN NOTE NO. 1 AND AS APPROVED OR DIRECTED BY THE ENGINEER.
3. CONTRACTOR SHALL PROVIDE A SAFE TEMPORARY PEDESTRIAN ACCESS WHERE EXISTING SIDEWALKS OR OTHER PEDESTRIAN AREAS ARE AFFECTED BY CONSTRUCTION WORK. CONTRACTOR SHALL NOTIFY EACH ABUTTER AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT AND SIMILAR OPERATIONS.
4. PLACE ALL CONSTRUCTION SIGNING, TRAFFIC CONTROL DEVICES AND TEMPORARY PAVEMENT MARKINGS FOR EACH PHASE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

## CONSTRUCTION SIGNING

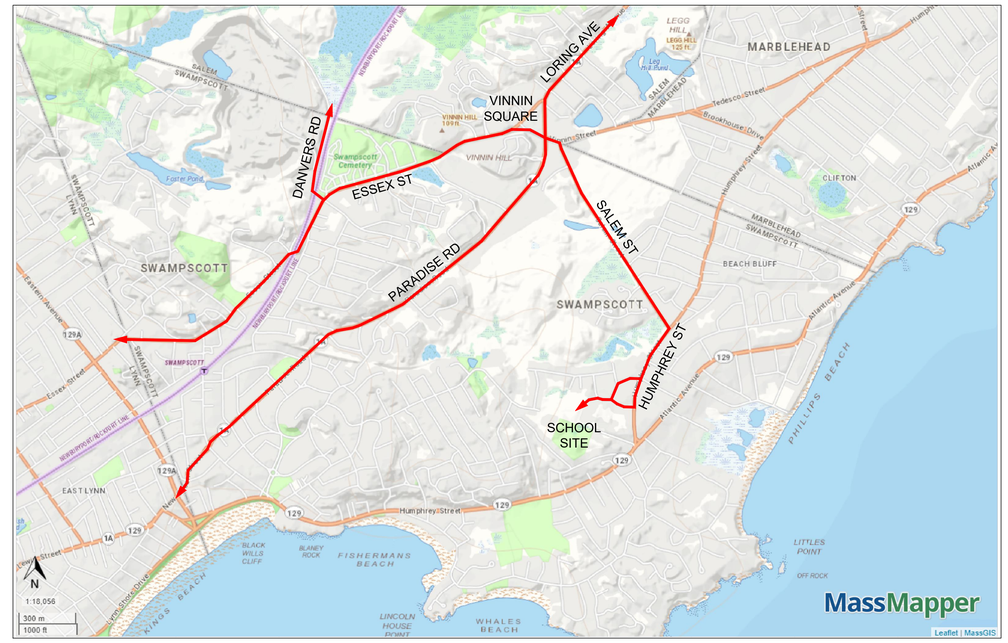
5. ALL CONSTRUCTION SIGNS SHALL BE BLACK LEGEND ON A REFLECTORIZED ORANGE BACKGROUND UNLESS OTHERWISE NOTED.
6. STANDARD ORANGE OR FLUORESCENT RED-ORANGE FLAGS (16"x16" MIN.) MAY BE ATTACHED TWO (2) EACH ON ALL ADVANCE WARNING SIGNS. FLAGS SHALL NOT INTERFERE WITH A CLEAR VIEW OF THE SIGN FACE. IF USED, THE COST FOR THE FLAGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE SIGNS WITH NO ADDITIONAL PAYMENT.
7. ALL SIGNS, INCLUDING EXISTING, THAT ARE NOT REPRESENTATIVE OF ACTUAL WORK CONDITIONS SHALL BE EITHER COVERED OR REMOVED WHEN NOT APPLICABLE.
8. USE W20-7b OR W20-7a SIGNS ONLY WHILE POLICE OR FLAGGERS ARE DIRECTING TRAFFIC. THEY SHALL BE TAKEN DOWN OR COVERED AT THE CLOSE OF EACH DAY OR WHEN NOT IN USE.

## CONTRACTOR-SPECIFIC CONSTRUCTION MANAGEMENT

9. THE CONTRACTOR'S ATTENTION IS DIRECTED TO TWO (2) BRIDGES WITH HEIGHT RESTRICTIONS: BURRILL STREET BETWEEN MIDDLESEX AVENUE AND COLUMBIA STREET; AND EASTERN AVENUE BETWEEN COLUMBIA AVENUE AND SUPERIOR STREET (LYNN). THE CONTRACTOR SHALL ALSO NOTE THAT TRUCKS ARE NOT ALLOWED ON LYNN SHORE DRIVE IN LYNN.
10. PRIOR TO WORKING ON THE SITE, THE CONTRACTOR SHALL SUBMIT A PLAN SHOWING THEIR PREFERRED ROUTES TO AND FROM THE SITE. THE PLAN SHOULD SHOW THE ROUTE(S) WITHIN A 2 MILE RADIUS OF THE SCHOOL.
11. CONTRACTOR PARKING WILL NOT BE ALLOWED ON PUBLIC STREETS WITHIN THE TOWN OF SWAMPSCOTT. IF NEEDED, THE TOWN WILL PROVIDE THE CONTRACTOR WITH LOCATIONS FOR OFF-SITE PARKING. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRANSPORTATION TO AND FROM OFF-SITE PARKING SPACES, IF REQUIRED.
12. PARKING WILL NOT BE ALLOWED ON THE UNITARIAN UNIVERSALIST CHURCH PROPERTY ADJACENT TO THE SCHOOL PROPERTY. VIOLATORS WILL BE TOWED WITHOUT WARNING AND MAY BE SUBJECT TO FURTHER DISCIPLINE UP TO AND INCLUDING DISMISSAL FROM THE PROJECT.
13. FOREST AVENUE EXTENSION AND THE UNITARIAN UNIVERSALIST (UU) PROPERTY SHALL NOT BE USED FOR ACESS TO AND EGRESS FROM THE SITE. ONLY CONSTRUCTION VEHICLES WORKING DIRECTLY ON FOREST AVE. EXT. OR THE UU PROPERTY WILL BE ALLOWED.



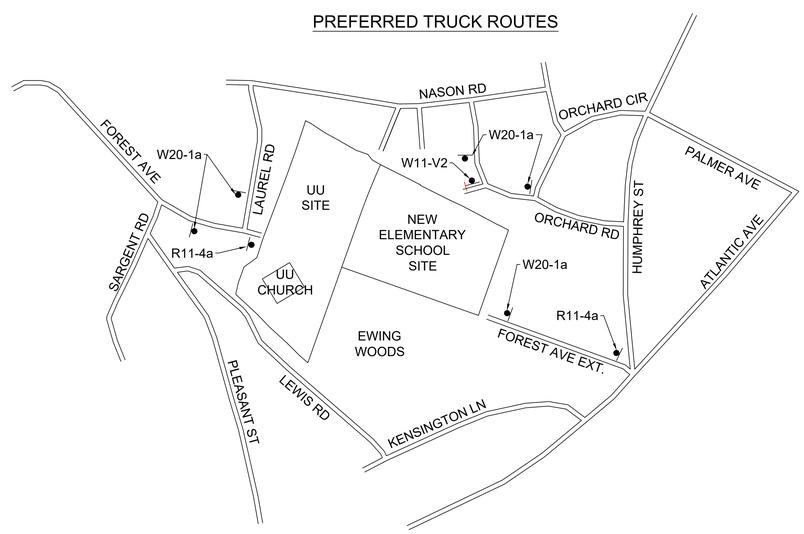

COMMERCIAL VEHICLE EXCLUSIONS / RESTRICTIONS




PREFERRED TRUCK ROUTES

| IDENTIFICATION NUMBER | SIZE OF SIGN | | TEXT | TEXT DIMENSIONS (INCHES) | | NUMBER OF SIGNS REQUIRED | COLOR | | | UNIT AREA IN SQUARE FEET | AREA IN SQUARE FEET |
|---|---|---|---|---|---|---|---|---|---|---|---|
| | WIDTH | HEIGHT | | LETTER HEIGHT | VERTICAL SPACING | | BACK-GROUND | LEGEND | BORDER | | |
| R11-4a | 60" | 30" | ROAD CLOSED TO CONSTRUCTION TRAFFIC | MUTCD STANDARD | | 2 | MUTCD STANDARD | | | 12.50 | 25.00 |
| W11-V2 | 36" | 36" | CONSTRUCTION ENTRANCE | | | 1 | | | | 9.00 | 9.00 |
| W20-1a | 36" | 36" | ROAD WORK AHEAD | | | 5 | | | | 9.00 | 45.00 |
| W20-7b | 36" | 36" | POLICE OFFICER AHEAD | | | 2 | | | | 9.00 | 18.00 |

CONSTRUCTION SIGN LEGEND




CONSTRUCTION SIGNING


LAVALLEE BRENSINGER ARCHITECTS
Boston | Manchester | Portland
99 Bedford Street, Boston, MA 02111
617.398.2035
www.LBPA.com

GPI Engineering Design Planning Construction Management
978.570.2999 GPINET.COM
Greenman-Pedersen, Inc.
181 Ballardvale Street, Suite 202
Wilmington, MA 01887


TOWN OF SWAMPSCOTT

**SWAMPSCOTT ELEMENTARY SCHOOL**

10 WHITMAN ROAD,
SWAMPSCOTT, MA 01907

| NO. | DESCRIPTION | DATE |
|---|---|---|

CONTENT: **TEMPORARY TRAFFIC CONTROL PLAN**

| | |
|---|---|
| DRAWN BY: | NR \| GPI |
| PROJECT NO: | 19-097-00 |
| DATE: | 4/7/2022 |
| REVISED: | |
| SCALE: | N.T.S. |

T1

Project Phase
**EARTH REMOVAL PERMIT APPLICATION**


COPYRIGHT © 2022 BY LAVALLEE BRENSINGER PROFESSIONAL ASSOCIATION. ALL RIGHTS RESERVED. NO REPRODUCTION WITHOUT PERMISSION.


FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.


4/22/2021 4:39:24 PM C:\Projects\19-097-00_Hadley ES_Building_Central_V21_david.harris@lbpa.com.rvt