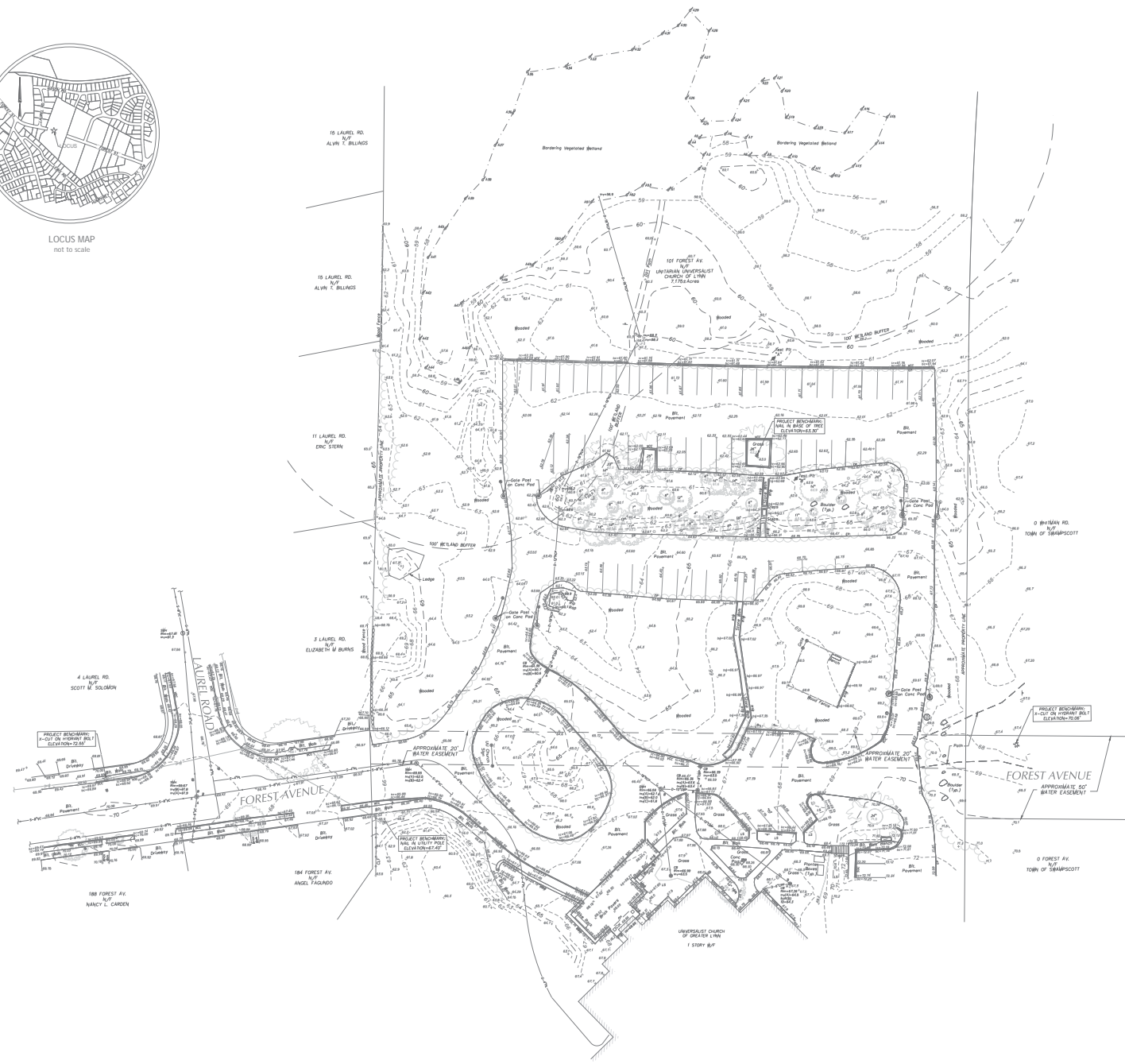




LOCUS MAP
not to scale



- LEGEND**
- STONE WALL
 - EDGE OF ROADED AREA
 - CATCH-BASIN
 - DRAIN MANHOLE
 - ROOF DRAIN
 - SEWER MANHOLE
 - HYDRANT
 - WATER GATE
 - WATER SERVICE
 - IRRIGATION CONTROL VALVE
 - GAS GATE
 - OUT RISE
 - UTILITY POLE
 - POST
 - LIGHT POLE
 - UNKNOWN MANHOLE
 - SON
 - REST PIT
 - CONIFEROUS TREE
 - FLAGPOLE
 - HANDICAP PARKING SPACE
 - GAS LINE
 - DRAIN LINE
 - SEWER LINE
 - OVERHEAD WIRE
 - INDEX CONTOUR
 - INTERFERED CONTOUR
 - +0.7
 - SPOT GRADE
 - 1'-4"
 - 1'-8"
 - 1'-16"
 - 1'-32"
 - 1'-64"
 - 1'-128"
 - 1'-256"
 - 1'-512"
 - 1'-1024"
 - 1'-2048"
 - 1'-4096"
 - 1'-8192"
 - 1'-16384"
 - 1'-32768"
 - 1'-65536"
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DEMOLITION NOTES:

1. SITE PREPARATION AND DEMOLITION SHALL INCLUDE THOSE AREAS WITHIN THE LIMIT OF WORK LINE AS SHOWN ON THE CONTRACT DOCUMENTS.
2. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING DEMOLITION.
4. THE CONTRACTOR SHALL COORDINATE SITE DEMOLITION EFFORTS WITH ALL TRADES THAT MAY BE AFFECTED BY THE WORK.
5. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTING OR FOUNDATION AS NECESSARY TO FACILITATE CONSTRUCTION, AND LEGALLY DISPOSED OF OFFSITE BY CONTRACTOR.
6. UTILITY PIPES DESIGNATED TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT THEIR ENDS WITH WATERPROOF BRICK MASONRY OR CEMENT MORTAR WITH A MINIMUM THICKNESS OF 8 INCHES.
7. UTILITY PIPES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF THE ENTIRE LENGTH OF PIPE AND BACKFILL AND 50% COMPACTION OF THE VOID WITH ORDINARY BORROW, WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
8. UTILITY STRUCTURES DESIGNATED TO BE ABANDONED IN PLACE SHALL HAVE THEIR CAST IRON CASTINGS REMOVED AND DISPOSED, INLET AND OUTLET PIPES PLUGGED, THE BOTTOM OF THE STRUCTURES SHALL BE BROKEN, THE VOID OF THE STRUCTURES SHALL BE BACKFILLED AND COMPACTED TO 90% WITH ORDINARY BORROW OR FLOWABLE FILL, AND THE TOP OF THE STRUCTURE SHALL BE REMOVED SO THAT IT IS AT LEAST 36 INCHES BELOW FINISH GRADE.
9. UTILITY STRUCTURES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE REMOVAL AND DISPOSAL OF CAST IRON CASTINGS, PLUGGING OF INLET AND OUTLET PIPES, REMOVAL OF THE STRUCTURE, AND BACKFILL AND 90% COMPACTION OF THE VOID WITH ORDINARY BORROW, WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
10. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFFSITE.
11. AT ALL LOCATIONS WHERE EXISTING CURBING, CONCRETE PAVEMENT OR BITUMINOUS CONCRETE ROADWAY ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
12. EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, EROSION CONTROL, TREE PROTECTION, AND SITE WORK AS REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRIS FOUND THEREON. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL LEAVE THE SITE IN SAFE, CLEAN, AND LEVEL CONDITION UPON COMPLETION OF THE SITE DEMOLITION WORK.
14. REMOVE AND STOCKPILE ALL EXISTING SITE LIGHTS, BENCHES, TRASH RECEPTACLES, TRAFFIC SIGNS, GRANITE CURBS, AND OTHER SITE IMPROVEMENTS WITHIN LIMIT OF WORK LINE UNLESS OTHERWISE NOTED.
15. ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE TIME OF CONSTRUCTION, AS SPECIFIED AND DIRECTED BY THE LANDSCAPE ARCHITECT.
16. BEFORE ANY TREES OR SHRUBS ARE REMOVED, THE CONTRACTOR SHALL ARRANGE A CONFERENCE ON THE SITE WITH THE OWNER OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE REMOVED, AS WELL AS THOSE WHICH ARE TO BE PROTECTED. DO NOT COMMENCE CLEARING OPERATIONS WITHOUT CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
17. THE CONTRACTOR SHALL REMOVE FROM THE AREA OF CONSTRUCTION PAVEMENT, CONCRETE, CURBING, POLES AND FOUNDATIONS, ISLANDS, TREE BENCHES AND OTHER FEATURES WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER SPECIFIED ON THE DRAWINGS OR NOT.

BUILDING LOCATION NOTES:

1. THE BUILDING LOCATION INFORMATION SHOWN ON THIS PLAN PROVIDES THE POSITION AND ORIENTATION OF THE BUILDING. REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING AND FOUNDATION DIMENSIONS, INCLUDING BUILDING OVERHANGS AND AREAWAYS. THE CONTRACTOR SHALL VERIFY BUILDING AND FOUNDATION DIMENSIONS WITH THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO FOUNDATION CONSTRUCTION.
2. THE LOCATION OF THE CORNER AND OUTSIDE FACE OF THE PROPOSED BUILDING FOUNDATION WALL WAS TAKEN FROM AN AUTOCAD FILE RECEIVED FROM LAMALLE BRENSINGER ARCHITECTS ON JANUARY 6, 2022.
3. THE SURVEYOR PERFORMING BUILDING LAYOUT SHALL BE A LICENSED PROFESSIONAL LAND SURVEYOR OR UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF MASSACHUSETTS WITH EXPERIENCE PREPARING BUILDING LAYOUT CALCULATIONS. THOSE CALCULATIONS SHALL BE PREPARED TO THE STANDARD OF CARE CURRENTLY ESTABLISHED FOR THE SURVEYING PROFESSION IN THE STATE OF MASSACHUSETTS.
4. THE BUILDING LAYOUT SURVEYOR SHALL CONFIRM THE FOLLOWING ITEMS:
 - A. THE BUILDING LOCATION CONFORMS TO ZONING SETBACKS;
 - B. THE BUILDING LOCATION IS WITHIN THE PROPERTY LINE; AND
 - C. THE BUILDING CLOSES ON ITSELF BASED ON THE DIMENSIONS PROVIDED ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
5. THE SURVEYOR PERFORMING BUILDING LAYOUT SHALL PROVIDE A SUBMITTAL TO THE DESIGN TEAM THAT INCLUDES THEIR CALCULATIONS CONCERNING THE ITEMS LISTED UNDER NOTE #4 ABOVE. THIS SUBMITTAL SHALL BE STAMPED AND SIGNED BY THE LICENSED PROFESSIONAL LAND SURVEYOR WHO PREPARED THE CALCULATIONS.

EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, AND THE CURRENT NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORESEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING MUNICIPAL AUTHORITIES, AT NO ADDITIONAL EXPENSE TO THE OWNER.
3. ANY EROSION CONTROL BARRIERS SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.
4. SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
5. AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES OF RAINFALL WITHIN 24 HOURS), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGE SHALL BE CORRECTED IMMEDIATELY.
6. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STORM DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS, ADJUTING PROPERTY, OR OUTSIDE OF THE PROJECT LIMITS.
8. THE CONTRACTOR SHALL PROTECT ALL DRAINAGE SWALES AND GROUND SURFACES WITHIN THE LIMIT OF WORK FROM EROSION CONDITIONS. STRAW BALE, CRUSHED STONE OR EQUIVALENT CHECK DAMS ARE TO BE PROVIDED AT A MAXIMUM OF TWO HUNDRED (200) FOOT SPACING, OR LESS AS SITE-SPECIFIC CONDITIONS WARRANT. WITHIN ALL DRAINAGE SWALES AND OTHER APPROPRIATE LOCATIONS, ALL DRAINAGE INLETS.
9. ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
10. ALL SEDIMENT RETAINED BY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEGALLY DISPOSED OF OFFSITE.
11. TEMPORARY OVERFLOW DIVERSIONS, PERMANENT DITCHES, CHANNELS, EMBANKMENTS, AND ANY DENIED SURF THAT WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE STABILIZED/PROTECTED WITH APPROPRIATE EROSION CONTROL MATTING OR OTHER EROSION CONTROL METHODS.
12. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.
13. THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING, OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 DAYS SHALL BE STABILIZED.
14. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION, BUT ONLY WHEN DIRECTED BY THE CITY/TOWN OF XXXX CONSERVATION AGENT. STABILIZE OR SEED BARE AREAS LEFT AFTER EROSION CONTROL REMOVAL.

EARTH MOVING AND GRADING NOTES:

1. ALL TOPSOIL ENCOUNTERED WITHIN THE WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
2. GRADES WITHIN HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
3. CROSS SLOPES OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 1.5%.
4. RUNNING SLOPE OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 4.5% UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL EXERCISE CAUTION IN ALL EXCAVATION ACTIVITY DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
6. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1% UNLESS OTHERWISE NOTED.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF BUILDINGS AT ALL LOCATIONS.
8. ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE NOTED. ALL PROPOSED TOP OF CAPE COD BERM ELEVATIONS ARE FOUR INCHES (4") ABOVE BOTTOM OF CURB ELEVATION UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
10. PITCH TOPS OF ALL WALLS AT ONE-EIGHTH INCH (1/8") PER FOOT FROM BACK OF WALL TO FACE OF WALL.
11. SURPLUS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. REFER TO EARTHWORK SPECIFICATIONS.
12. ANY AREAS OUTSIDE OF THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THE PRE-CONSTRUCTION CONDITION/GRADE AT NO COST TO THE OWNER.
13. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.

GENERAL NOTES:

1. TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM THE PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND", DATED APRIL 27, 2021, REVISED DECEMBER 13, 2021, AND PREPARED BY NITSCHE ENGINEERING. THE 1/4" SITE SURVEY TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM THE PLAN ENTITLED "UNITARIAN UNITARIAN UNION CHURCH OF GREATER LYNN", DATED JANUARY 5, 2022, PREPARED BY SAMOIES CONSULTANTS, INC.
2. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE STATE OF MASSACHUSETTS WITHOUT AN EXCAVATION WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE, UNDERGROUNDS, AND MULTITUDE OF UTILITIES DEPARTMENTS (ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-200-SAFE.
3. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS JACKIE'S LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
5. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND NITSCHE ENGINEERING. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL THROUGHOUT CONSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SEWERLINES AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
8. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
10. THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
11. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.
12. THIS PLAN IS REFERENCED HORIZONTALLY TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM OF 1983 AND VERTICALLY TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 BY RTK GPS OBSERVATIONS TAKEN ON MAY 15, 2020.
13. THE CONTRACTOR SHALL COMPLY WITH THE ORDER OF CONDITIONS DATED XXXX XX, XXXX AND ISSUED BY THE TOWN OF SWAMPSCOTT CONSERVATION COMMISSION (DEP XXXX-10-X).
14. FOR SOIL INFORMATION REFER TO GEOTECHNICAL REPORT.

UTILITY NOTES:

1. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE LOCAL MUNICIPALITY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS RELATED TO UTILITY WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMISSIONS FOR AND FOR CONDUCTING ALL PREPARATIONS RELATED TO WORK AFFECTING ANY UTILITIES WITHIN THE JURISDICTION OF ANY NON-MUNICIPAL UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, AND/OR GAS. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 7 DAYS (OR PER UTILITY COMPANY REQUIREMENT) AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN UTILITIES SERVING BUILDINGS AND FACILITIES WITHIN OR OUTSIDE THE PROJECT LIMIT UNLESS THE INTERRUPTION OF SERVICE IS COORDINATED WITH THE OWNER.
4. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
5. GAS, TELECOMMUNICATIONS AND ELECTRIC SERVICES ARE TO BE DESIGNED BY GAS, TELECOMMUNICATION AND ELECTRICAL SERVICES.
6. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES OF NEW UTILITIES WITH GAS, TELECOMMUNICATION AND ELECTRICAL SERVICES.
7. INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET COVER AND A MAXIMUM OF SEVEN FEET COVER FROM THE FINAL DESIGN GRADES.
8. MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION (WATER OVER SEWER) BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN, BOTH WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE FOR A DISTANCE OF 10-FOOT ON EITHER SIDE OF THE CROSSING. ONE (1) FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER AT THE CROSSING.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED AND/OR REMOVED & DISPOSED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR GAS UTILITY SYSTEMS.
11. ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
12. ALL EXISTING AND PROPOSED MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, CASTINGS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL GRADING AND PAVING CONSTRUCTION.
13. ALL GRASSES IN WALKWAYS SHALL BE ADA COMPLIANT.

PROPOSED LEGEND

- EXISTING UTILITY TO BE ABANDONED, REMOVED AND DISPOSED IF IN CONFLICT WITH NEW SITE IMPROVEMENTS, OR AS INDICATED ON DRAWINGS
- EROSION CONTROL BARRIER
- CONSTRUCTION FENCE
- DOMESTIC WATER PIPE
- PROTECTION PIPE
- SANITARY SEWER PIPE
- STORM DRAIN PIPE
- GAS PIPE
- ELECTRIC DUCTBANK
- TELECOM DUCTBANK
- CHILDLED WATER PIPE
- STEAM PIPE
- CONDENSATE RETURN PIPE
- HOT WATER PIPE/RETURN
- HEATING HOT WATER
- REUSE WATER PIPE
- GREY WATER PIPE
- FUTURE UTILITY, SHOWN FOR INFORMATION ONLY
- INLET PROTECTION
- ELEVATION CONTOURS
- MATCH LINE
- CENTERLINE
- CLEANOUT
- AREA DRAIN
- ACCESS BASIN
- DRAIN MANHOLE
- WATER QUALITY STRUCTURE
- CATCH BASIN
- DOUBLE CATCH BASIN
- WATER QUALITY INLET
- SEWER MANHOLE
- STEAM MANHOLE
- TELECOM MANHOLE
- ELECTRIC MANHOLE
- CHILDLED WATER VALVE
- WATER VALVE
- FIRE HYDRANT

ABBREVIATIONS

- AB ACCESS BASIN
- AD AREA DRAIN
- BC BOTTOM OF CURB ELEVATION
- BW BOTTOM OF WALL ELEVATION
- CB CATCH BASIN
- CDR CAPE COD BERM
- CI CAST IRON
- CJ CENTER JOINT
- CL CENTER LINE
- CO CLEANOUT
- COP CENTER OF PIPE
- CP CARRIER PIPE
- CR CORRUGATED POLYETHYLENE PIPE
- DCR DOUBLE CATCH BASIN
- DI DUCTILE IRON PIPE CEMENT LINED
- DH DRAIN MANHOLE
- EH ELECTRIC HANDHOLE
- ED EXPANSION JOINT
- EW ELECTRIC MANHOLE
- FD FOUNDATION DRAIN
- FFE FINISHED FLOOR ELEVATION
- HP HIGH POINT
- HYD FIRE HYDRANT
- INV INVERT ELEVATION
- LF LINEAR FEET
- LOW LIMIT OF WORK
- LP LOW POINT
- LAB LAB WASTE
- MAP MAINTAIN AND PROTECT
- NIC NOT IN CONTRACT
- OC ON CENTER
- OCS OUTLET CONTROL STRUCTURE
- PD PERIMETER DRAIN
- PERF PERFORATED
- PVC POLYVINYL CHLORIDE PIPE
- R&D REMOVE AND DISPOSE
- R&S REMOVE AND STOCKPILE
- RD ROOF DRAIN
- RM RM ELEVATION
- SMH SEWER MANHOLE
- SS SEWER SERVICE
- TC TOP OF CURB ELEVATION
- TW TOP OF WALL ELEVATION
- THH TELECOM HANDHOLE
- TMH TELECOM MANHOLE
- TOP TOP OF PIPE
- TOP TOP OF DUCT BANK
- TPY TYPICAL
- UD UNDERDRAIN
- USD UNDERSLAB DRAIN
- VGC VERTICAL GRANITE CURB
- WQ WATER QUALITY INLET
- WQS WATER QUALITY STRUCTURE
- WW WATER VALVE

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CONTENT:	CIVIL NOTES, LEGENDS, AND ABBREVIATIONS
DRAWN BY:	---
PROJECT NO:	18-001-00
DATE:	9/10/2022
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SCALE:	---
Project Phase:	PLANNING BOARD SITE PLAN SUBMISSION
FOR ADDITIONAL INFORMATION, REFER TO PROJECT MANUAL.	NITSCHE PROJECT NO. 13858



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PROJECT NO:	14-001-00
DATE:	3/1/2022
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C-001	
Project Phase: PLANNING BOARD SITE PLAN SUBMISSION	
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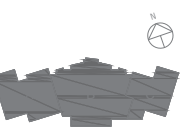
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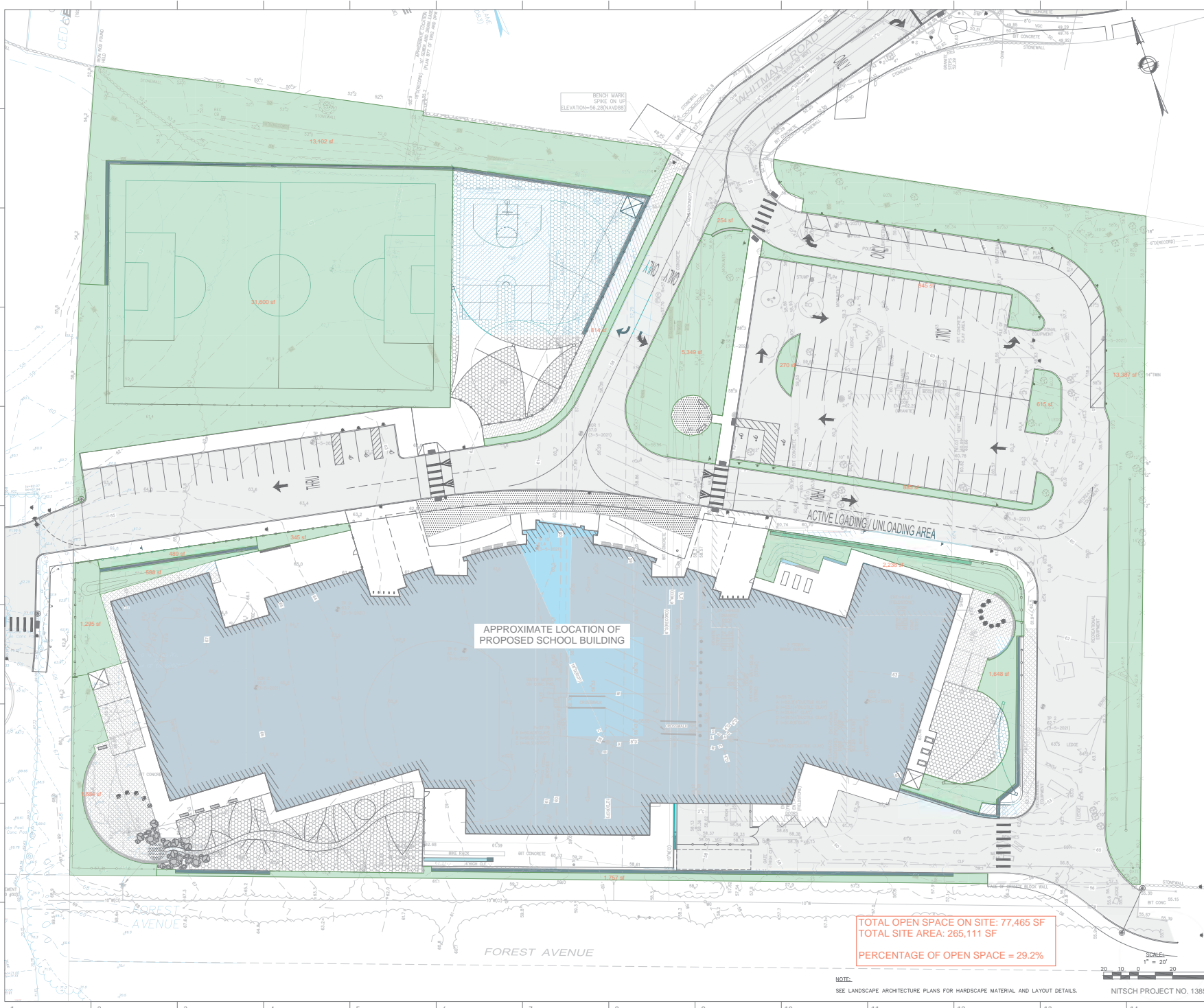


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	DRAWN BY: PROJECT NO. 14-001-00
	DATE: 3/10/2021
	REVISED:
	SCALE:
C-002	
Project Phase: PLANNING BOARD SITE PLAN SUBMISSION	
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NOTE:
SEE LANDSCAPE ARCHITECTURE PLANS FOR HARDSCAPE MATERIAL AND LAYOUT DETAILS.

SCALE:
1" = 20'
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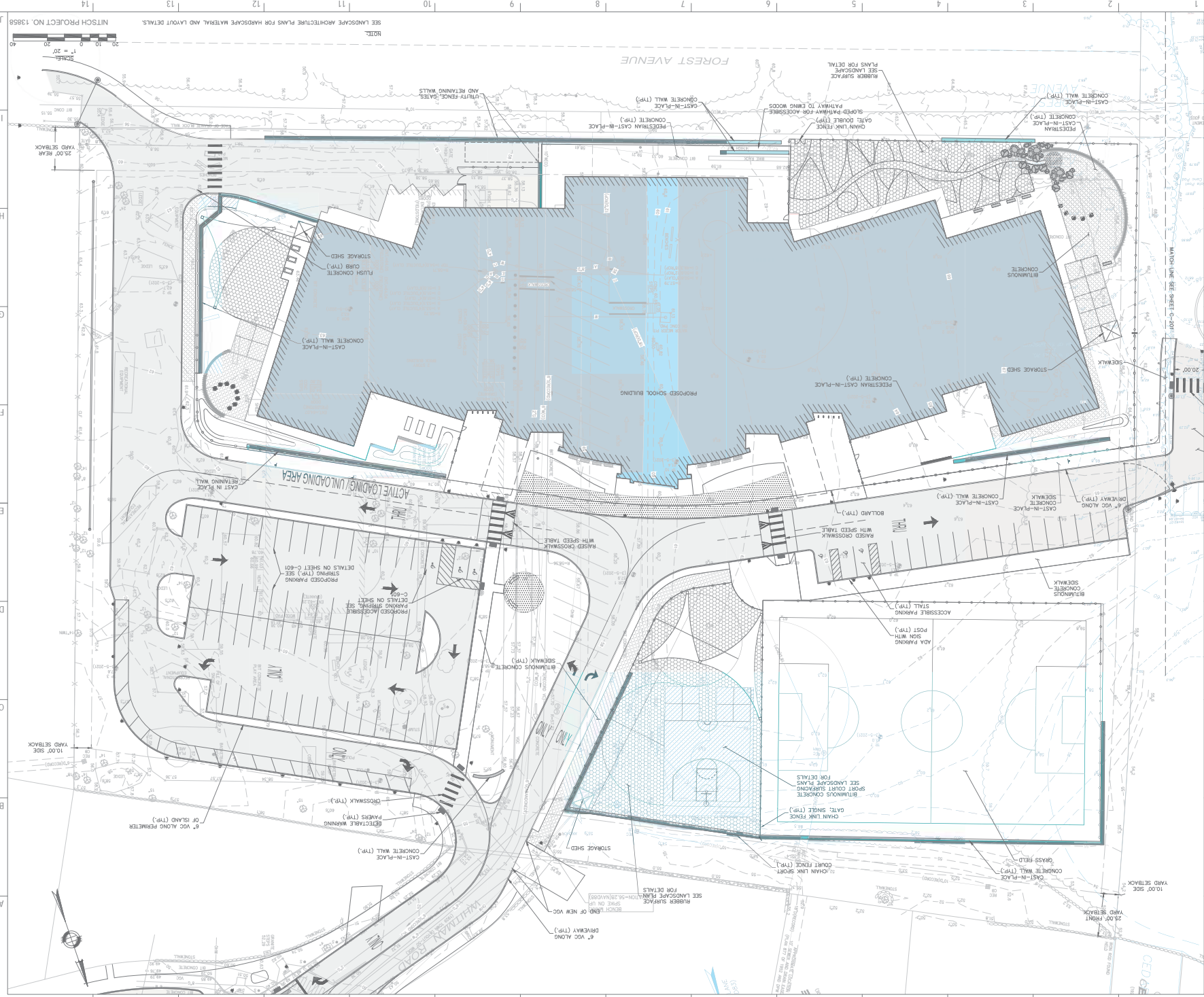
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DRAWN BY:	
PROJECT NO:	14-001-00
DATE:	9/10/2014
REVISED:	
SCALE:	
C-003	
Project Phase: PLANNING BOARD SITE PLAN SUBMISSION	
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TOTAL OPEN SPACE ON SITE: 77,465 SF
TOTAL SITE AREA: 265,111 SF
PERCENTAGE OF OPEN SPACE = 29.2%

NOTE:
SEE LANDSCAPE ARCHITECTURE PLANS FOR HARDSCAPE MATERIAL AND LAYOUT DETAILS.

SCALE:
1" = 20'
20' 10' 0' 20' 40'

NITSCH PROJECT NO. 13858



NOTES:
SEE LANDSCAPE ARCHITECTURE PLANS FOR Hardscape MATERIAL AND LAYOUT DETAILS.
NITICH PROJECT NO. 13858
SCALE: 1" = 20'
DATE: 10/20/2023
PROJECT NO.: 19007-00
DRAWN BY: [Redacted]
CONTENTS: SITE LAYOUT AND MATERIALS PLAN

NO.	DESCRIPTION	DATE
1	10 WHITMAN ROAD	SWAPSCOTT, MA 01907
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3	TOWN OF SWAPSCOTT	
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C-200
SCALE: 1" = 20'
DATE: 10/20/2023
PROJECT NO.: 19007-00
DRAWN BY: [Redacted]
CONTENTS: SITE LAYOUT AND MATERIALS PLAN

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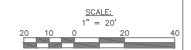
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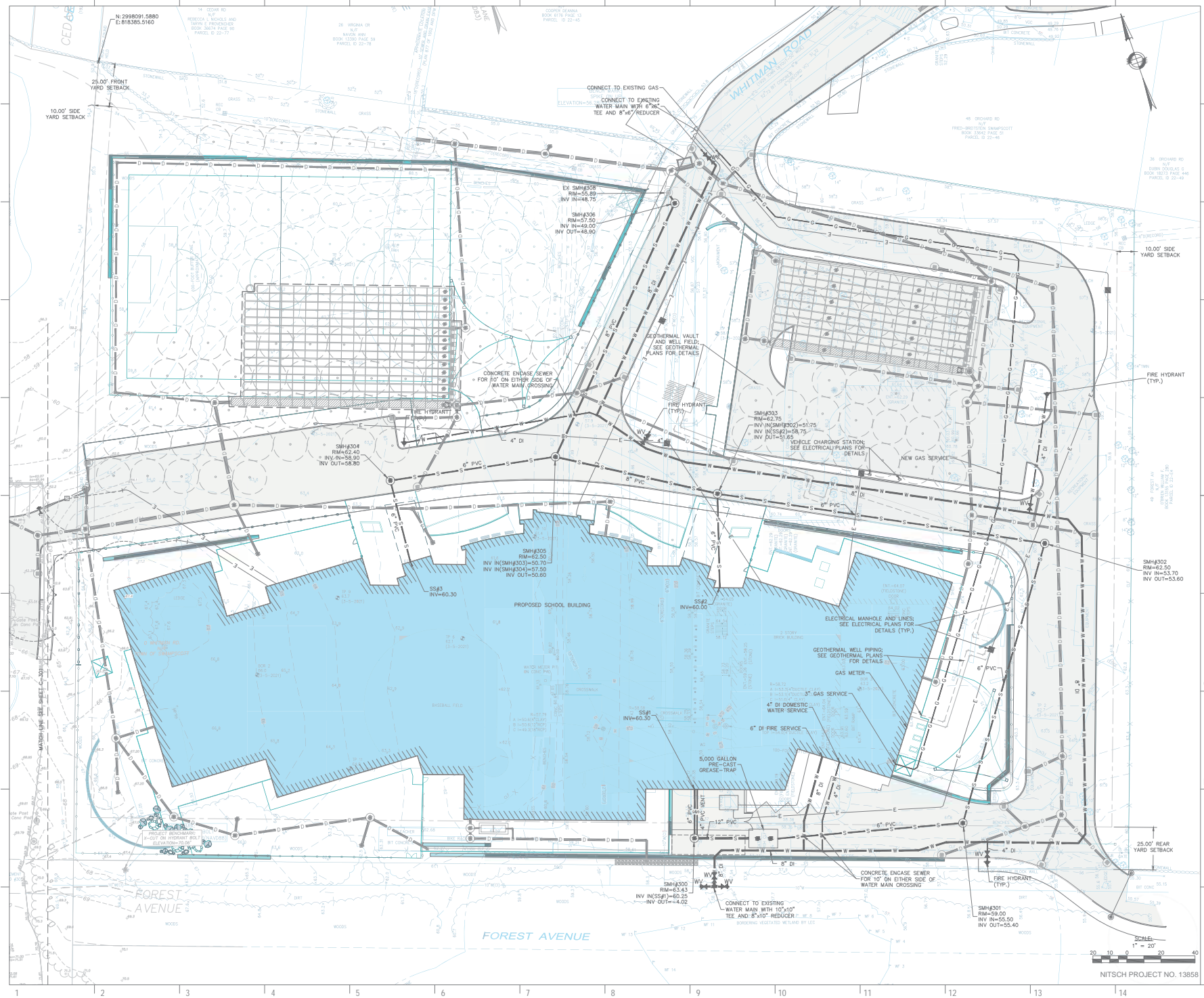


CONTENT: SITE LAYOUT AND MATERIALS PLAN	
DRAWN BY:	
PROJECT NO:	14-001-00
DATE:	3/10/22
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SCALE:	
C-201	
Project Phase: PLANNING BOARD SITE PLAN SUBMISSION	
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NOTE:
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